

# Camborne Contemporary Crafts Hub Donald Thomas Centre Chapel Street, Camborne

Viability Study

by Create (Cornwall) CIC

funded by the Architectural Heritage Fund

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**AHF** Transforming  
Heritage



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# Introduction

## Context

Create CIC was founded in March 2020 by two creative and education professionals Jane Smith and Angela Hatherell in response to a request from Falmouth University to house and make available some of their large scale glass equipment following the closure of their Contemporary Crafts courses.

In summer 2020 Create (Cornwall) CIC was invited to provide the creative offer of the Camborne Town Deal bid to MHCLG for town centre regeneration funding and the idea for the Camborne Contemporary Crafts Hub was born. A number of potential buildings were considered and the Donald Thomas Centre was proposed as the most feasible option as it was owned by the Camborne Community Centre Trust who wished to sell to release capital to renovate their other building, also listed. The bid put Camborne Town Council as the project leads and future building owners, with Create (Cornwall) CIC running the Camborne Contemporary Crafts Hub.

In June 2021 it was announced that Camborne, together with Truro, Penzance and St. Ives, was successful in its bid for Town Deal Funding with a total of £23.7million allocated to town centre regeneration projects (97% of the total bid for, which meant each project took a 3% reduction in allocation). Of that, £473,800 is allocated to the development of the Camborne Contemporary Crafts Hub. This figure includes equipment (£50,000) and building purchase (January 2021 valuation £75,000).

## What are the proposals for the building and why?

The proposal for the Donald Thomas Centre is to transform the building into a community contemporary crafts hub, keeping the original spirit of the building, as an institute for democratising learning, alive. This is a much loved, but neglected, building, iconic within the town and of great historical interest. The aims are to preserve this history, while making the building an accessible community asset for the 21<sup>st</sup> Century, future proofing it and making it as sustainable as possible.

This project will provide a much needed asset for the town. Five of the ten most deprived wards in Cornwall are in Camborne, and six wards in Camborne are in the most deprived 10% in the country (Indices of Multiple Deprivation, Cornwall Council, 2019). The primary types of deprivation in these neighbourhoods relates to income, employment, education, skills and training, and health and disability and our aim is to provide education and skills training, as well as working with local charities and community organisations to address mental health and wellbeing issues. Local artists will be able to rent workspaces and equipment and will have access to a community of likeminded people for engagement and idea sharing. As an iconic building in the centre of the town it will become a vibrant community hub, a space for education and leisure, and a centre of excellence for artists across the county.

To do this Create (Cornwall) CIC need to work with Camborne Town Council, Cornwall Council, and Camborne Town Deal Board, together with Architects and Listed Building Consultants to ensure the proposals are in keeping with the historic fabric of the building. A full structural condition survey is needed to make sure the building is structurally sound and in a state to be transformed in the way proposed. The capital works must begin with any remedial works, and then involve the conversion of the interior into useable workshops for glass, ceramics and jewellery, a café, library and exhibition space, and shop.

“Despite some wonderful historic buildings throughout the town, there are repeated references to the poor quality of the built environment. Comments suggest feelings that the town centre is falling into disrepair, with the poor maintenance of shop fronts and the large number of empty buildings clearly significant factors.”

Camborne Town Investment Plan, 2021

This is one of the flagship projects of the Camborne Town Deal proposals to regenerate the town centre. It will bring an underused building back into community use and provide day and evening occupation, contributing to the town’s vibrancy and safety. A total of £598,100 was included in the bid for Camborne Town Council to buy the building, with Create CIC as tenants, and then refurbish it to open as a contemporary crafts hub specialising in glass, ceramics and small metals, run by Create CIC, however this was reduced to £473,785 when the funding was announced.

This viability study will assess the condition of the building and explore how best the building could be transformed. Detailed surveys, community engagement and consultation, design development, and conversations with listed building consultations, will determine how the project should be taken forward in the most sympathetic, sustainable and cost effective way.

It will also try to discover in detail what the community’s current perceptions of the building is and what they want from it in the future, if the building is suitable for the specific needs of Create CIC and the Camborne Contemporary Crafts Hub, supporting workshops and energy heavy crafts, and then develop proposals to create a sustainable building for the future, thus mitigating long term energy and running costs.



Create CIC has been running workshops from the Donald Thomas Centre, without making any changes to the building, since September 2021.

Although this space is not ideal as a workshop, as there should be mechanical ventilation and extraction, the glass and ceramics workshops should be separated, and the large kilns and other equipment require three phase electrics to operate, we have demonstrated through the popularity of courses that the size of the space, and location of the building, is suitable for the proposed function.

## Viability study project plan and process

Having applied for and been awarded the AHF grant for the viability study for the Donald Thomas Centre to be transformed into the Camborne Contemporary Crafts Hub, Create CIC are leading on this project, have commissioned and managed all consultants, undertaken community consultation and historical research, and have written this report. The elements of this study and work commissioned are as follows:

- Building condition survey
- Measured survey and drawings
- Initial design development drawings and 'artist impressions'
- Historic consultant response to outline proposals
- Sustainability consultation and proposals
- Cost consultant report

Each element is summarised and evaluated in this report in terms of impact and viability, and the full commissioned surveys and sub reports are included in the appendices.

The grant was awarded in May 2021 and confirmed in June 2021. The first surveys were commissioned in July 2021 and the report will be completed in January 2022.

## Consultants and key organisations

### Create CIC

Create (Cornwall) CIC are undertaking this viability study as they will be the occupiers of the Donald Thomas Centre and have established the Camborne Contemporary Crafts Hub in the building.

Create (Cornwall) CIC's mission is to make the skills, materials and equipment for contemporary crafts accessible to anyone in Cornwall and to become a centre of excellence in glass design. We specialise in glass, ceramics and small metals, and run projects and workshops for people who would not normally have access to such facilities. We will also run courses commercially, and rent out workspaces and equipment to aspiring and established local artists.

The project is led by Angela Hatherell who has a background in architecture and project management. She has experience in conducting public consultations around regeneration projects, brief writing, and managing and conducting feasibility studies. Her co-director Jane Smith has thirty years of experience working with ceramics and glass, using the equipment needed for these crafts. She has set up several ceramics and glass workshops from scratch and run these workshops as teaching venues, both privately and as part of Further Education establishments. She has managed the installation of three phase power, extraction, and all the



health and safety measures needed for a safe workshops. These have been in the commercial, education and charity sectors.

#### Camborne Town Council

In the Town Deal proposal approved by MHCLG Camborne Town Council would purchase the building through Camborne Town Deal and act as lead organisation throughout the development process. Camborne Town Council withdrew as lead on the project in November 2021.



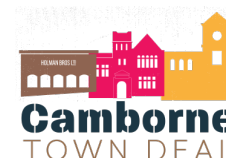
#### Cornwall Council

Cornwall Council will be managing the Town Deal funding on behalf of Central Government.



#### Camborne Town Deal Board

Camborne Town Deal Board approved the proposal to create a Camborne Contemporary Crafts Hub in the Donald Thomas Centre building.



#### Camborne Community Centre Trust

Current owners of the building, who have agreed to sell for a reported valuation of around £75,000 (valued January 2021). Create CIC have a lease with Camborne Community Centre Trust to occupy the building, but not make any significant changes, until the sale is completed.

#### Scott & Co.

Scott & Co Chartered Building Surveyors and Historic Building Professionals work on listed buildings and non listed properties for private and corporate clients, trusts, charities and churches. Director Chris Hunter is a Camborne resident passionate about the town's regeneration. They will be undertaking the structural condition survey.



#### Pink Pebble Consulting

Jo Godophin is also a Camborne resident, and a construction consultant who has extensive experience in a wide range of projects in public and private sectors as a Quantity Surveyor, Employer's Agent, Contract Administrator, Project Manager, and Construction Manager. She will be undertaking the cost report based on the structural condition survey and outline design proposals.



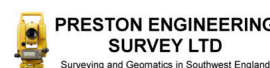
#### Falmouth University Architecture students and graduates

Falmouth University's motto of 'doing it for real' allowed Create CIC to work with third year BA Architecture students to brainstorm proposals for the building. A number of recent graduates will be commissioned to draw up the proposals in consultation with Create CIC in preparation for the next stage in the project.



#### Preston Engineering Survey Limited

John Preston will be undertaking a measured survey of the building and producing scale drawings which can be used for design development.



# History of the Donald Thomas Centre

## Listings

Grade/Category: Grade II\*

List entry number: 114265

Conservation area: Camborne (Town Centre)

Historic England's list entry describes it as follows:

The Donald Thomas Centre, with forecourt railings (formerly listed as The Literary Institute)

Literary Institute, now social centre. 1842, enlarged 1852; altered. Granite ashlar, slate roof. T-plan formed by hall at right-angles to the street flanked by small wings; plus later extensions to the rear. Greek Revival style. All single storey, but the hall much taller, presenting a giant Doric portico, distyle in antis, with triglyph frieze and mutule pediment, protecting a central doorway with simple pedimented surround and 2 round-headed windows with moulded architraves and keystones, and glazing with coloured margin panes. The wings, at right-angles to the hall, each have clasping corner pilasters, a sashed window with sill-band and shouldered architrave (4- and 12-paned respectively), and entablature with simplified triglyphs and guttae; their gable walls are pedimented, with a triglyph frieze. Forecourt enclosed by simple spear railings with wrought-iron gates. To the rear of the right-hand (north) wing is a former lecture hall, added in 1852, which is stuccoed, with vermiculated quoins and surrounds to openings, a tripartite window to the 1st portion, and a round-headed doorway with a shallow porch, flanked by tall round-headed windows on a high level. Interior altered. History: Camborne Literary Institute founded in 1829, this building erected on site given by Richard Vivyan and formerly occupied by 1st Methodist chapel in Camborne. In the forecourt of the building is a medieval wayside cross which was listed as a scheduled monument in the 1930s (list entry number 1016749).

Wayside cross and cross-base immediately north east of the Donald Thomas Daycare Centre, 180m east of St Meriadoc and St Martin's Church

The monument includes a medieval wayside cross mounted on a medieval cross-base situated immediately to the north east of the Donald Thomas Daycare Centre. The cross is Listed Grade II. The wayside cross, which is 0.72m high, survives as an upright granite shaft with a round, 'wheel' head, 0.54m wide and 0.2m thick. The principal faces are orientated north-south, and both are decorated: the south face bears a relief Latin cross; the north face has a relief figure of Christ with outstretched arms. There is a narrow bead around the outer edge of both principal faces. Immediately below the head, at the neck, are two rounded projections, one to either side of the shaft; each projects 0.1m beyond the edge of the shaft. On the south face of the shaft is a deeply incised semi-circular groove.



Only a small portion of the upper shaft survives, cemented into a cross-base which originally supported another cross. The granite cross-base measures 0.92m east-west by 0.91m north-south and is 0.3m thick. It has rounded sides and resembles a large boulder. It has been suggested that the cross originally marked a path to Camborne church. By 1896 it had been moved to the Literary Institute (now the Donald Thomas Daycare Centre) in Camborne town centre where the historian Langdon recorded it as having been at the rear of the Institute for many years, being but recently moved to the front of the building. The cross was set up in the cross-base in its present location in 1924. The cross-base originally supported Roskear Cross, opposite Tuckingmill Church, 1.25km north east of its present location. The Roskear Cross was removed to a garden in Camborne for many years until it was removed to Crewkerne in Somerset in 1916. The paving slabs around the cross where they fall within its protective margin are excluded from the scheduling, although the ground beneath is included.

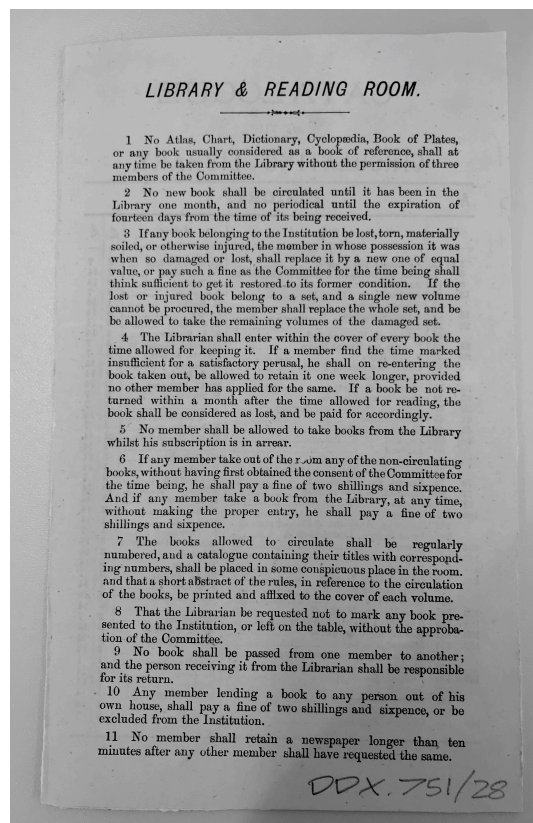
## Library research

Cornwall was the first volume of Nikolaus Pevsner's Buildings of England series, and in the original edition he describes the then Literary Institute as "The most distinguished building in the town, if a little old-fashioned for its date." (Pevsner, 1951)

The full entry in the latest edition is:

**"Former LITERARY INSTITUTE, Chapel Street. Now a community centre. 1842 by Philip Sambell, enlarged 1852 and internally altered by conversion. The most distinguished building in the town, if a little old-fashioned for its date. Greek Revival style, recalling one of Decimus Burton's park lodges. A severe granite ashlar composition, single-storey with the main hall entered through a giant Doric portico *in antis*, flanked by lower wings set at right angles, their gable walls pedimented and with a triglyph frieze like the front. To the rear of the r. wing is a former lecture hall added in 1852 in stucco with vermiculated quoins. The Camborne Literary Institute was founded in 1829 in the heyday of steam technology. In the forecourt is a medieval wheel-headed cross with a raised figure in a circular granite panel." (Beacham, Pevsner, 2014)**

The archives at Kresen Kernow are an invaluable resource for researching the history of Cornwall and they hold many original documents pertaining to the Donald Thomas Centre / former Literary Institute, including membership records, meeting minutes, rules (such as those in the image on the right) and deeds.





The most interesting document found in the course of the research undertaken there was a "short history of the Camborne Literary Institution" in the form of a pamphlet published by the [Literary Institution] Committee "in connection with the celebration of the Centenary, November, 1929." (Camborne Literary Institution, 1929) The pamphlet not only gives a brief history of the first hundred years of the building, but also gives some social context to the development of the building in the town, giving the aims and ambitions of the men who founded it. The information it contains mainly came from the printed proceedings connected with the opening of new rooms in 1842, and a manuscript account of the Jubilee Celebrations held on 23rd and 24th October 1879.

The Literary Institution was originally "formed under the designation of a *Society for the Promotion of Useful Knowledge*" (ibid.) and met in a private house. After about seven or eight years they outgrew this space and a dedicated building was sought. A plot of land was donated by Sir Richard Vyvyan and the largest subscribers to the building fund were Sir Richard Vyvyan, Lady Basset, Mr. E.W.W. Pendarves, Major Bickford, Dr. Smith and Captain Petherick.

"The building was finished in October, 1842, consisting of the present main room and one room on either side, and on the 24th October, 1842, the new building was opened." (ibid.)

It is interesting to note that the original building was just the main hall (which we refer to as the central hall) and the two wings. It was assumed that the rear hall was the original part of the building, and local folklore said that this was originally built as a Methodist Chapel. In fact there was a Methodist Chapel on this site (the first and at the time only Methodist Chapel in the town at the time), but none of that building remains. "The same site subsequently became, and was up to within six months of the commencement of our Institute, the place where the Chartists had so frequently met for the purpose of diffusing their obnoxious and destructive sentiments." (ibid.) Although the founders were passionate about the "promotion of useful knowledge" they were very prescriptive about what their definition of "useful knowledge" was. They believed newspapers to be corrupting to the young men the institution was provided for, and "nothing but books, good, useful, well-selected books, should be read within its walls." the above quote about the Chartists leaves the reader in no doubt about their political leanings. In October 1856 The Times newspaper was permitted, and in the same month membership increased by over 100%.

Prior to 1842 there is no record as to the number of members of the Institution, but between 1842 and 1849 1,091 new names were added. At that time the library contained over 1,100 volumes, and the museum contained "about 400 valuable and old specimens representing many different kinds of mineral and curiosities." (ibid.)

When first opened, the building contained a library and reading room (where lectures were delivered from) and museum. It was later decided that a separate lecture hall should be built, and the main hall to the rear of the building was opened in December 1852, costing around £100. The pamphlet quotes the records of the proceedings of the opening of the new rooms in which there is also a good description of the building.

**"The architect appears to have properly directed his attention to producing as ornamental an effective a frontage as the funds placed at his disposal admitted. This is of Doric order, and is executed in granite ashler. Its plan would represent the Erechtheum at Athens, and the small rooms on each flank, being advanced to a front line, form for the principal entrance a recessed portico of two columns with antenae, and thus the building is in the simplest form of a Greek temple. The shaft of each column in the portico is fourteen and a half feet high, mean diameter twenty eight inches, and in one stone of the weight of seven tons." (ibid.)**

Many of the speeches quoted in the pamphlet expound the virtuous ambitions of the Institution, such as the Chairman who hoped the Institution "would be replete with benefit to this town and neighbourhood, particularly to their younger members, who had now an opportunity of acquiring information in the leisure hours which was never before afforded to them, and would, he hoped, be the means of placing them beyond the reach of temptations, which had been the cause of ruin and destruction to many young men in their neighbourhood." (ibid.) Many of the ambitions of the original founders mirror the ambitions that Create CIC have for the building, and this wonderful quote seems particularly apt:

**"I stand here amazed at our daring - if we had not possessed more courage than prudence I question whether we should even have begun. We began with a design to promote the attainment of Useful Knowledge; this was the point at which we aimed, it was the object of our ambition; and I shall be forgiven if I now say, that we do not think it can be mended. Let us look around on the society which we live, and especially on the youth of our neighbourhood: and what can be a greater boon, a nobler gift, than to offer them facilities for the attainment of Useful Knowledge?" (George Smith, ibid.)**

The pamphlet goes on to note that there are no records for the Institution between 1879 and 1891, however "there is every reason to believe that what is now the Billiard Room [our main hall] continued to be used as the Lecture Hall with raised seats, with the entrance up a stairway from Gurney's Lane where a blocked up doorway now remains." (ibid.) It is interesting to note that in 1929 the doorway to Gurney's Lane on the north elevation of the building was blocked up. That is now a security door, but the lettering above the door which reads LECTURE HALL can just about still be made out.

From 1890 onwards the Institution "got into a state of lethargy, and the Lecture Hall was let off, first to the School of Mines as a Gymnasium and afterwards to the Camborne branch of the St. John's Ambulance." (ibid.) During that time the building apparently got into a state of disrepair and it was thought that it may have to close down, however in 1907 a new Secretary took over who recruited new members and by 1910 had raised enough money to buy a new billiards table, and put a new floor [presumably the current parquet floor] and windows into the Lecture Hall.

The freehold of the building was purchased in 1920 at a cost of £270, and in 1925 the yard to the west of the building [now two private residential properties] was sold to the Camborne U.D. Council for £150. This land was later used for public toilets.



The earliest image on record of the building is the above lantern slide of an etching dated 1850 from the Kresen Kernow archive. It clearly shows that the facade is very much unchanged, although it is difficult to tell if the arched windows within the portico existed at this point. It does however show a lantern above the doorway, long since gone, but planned to be replaced.

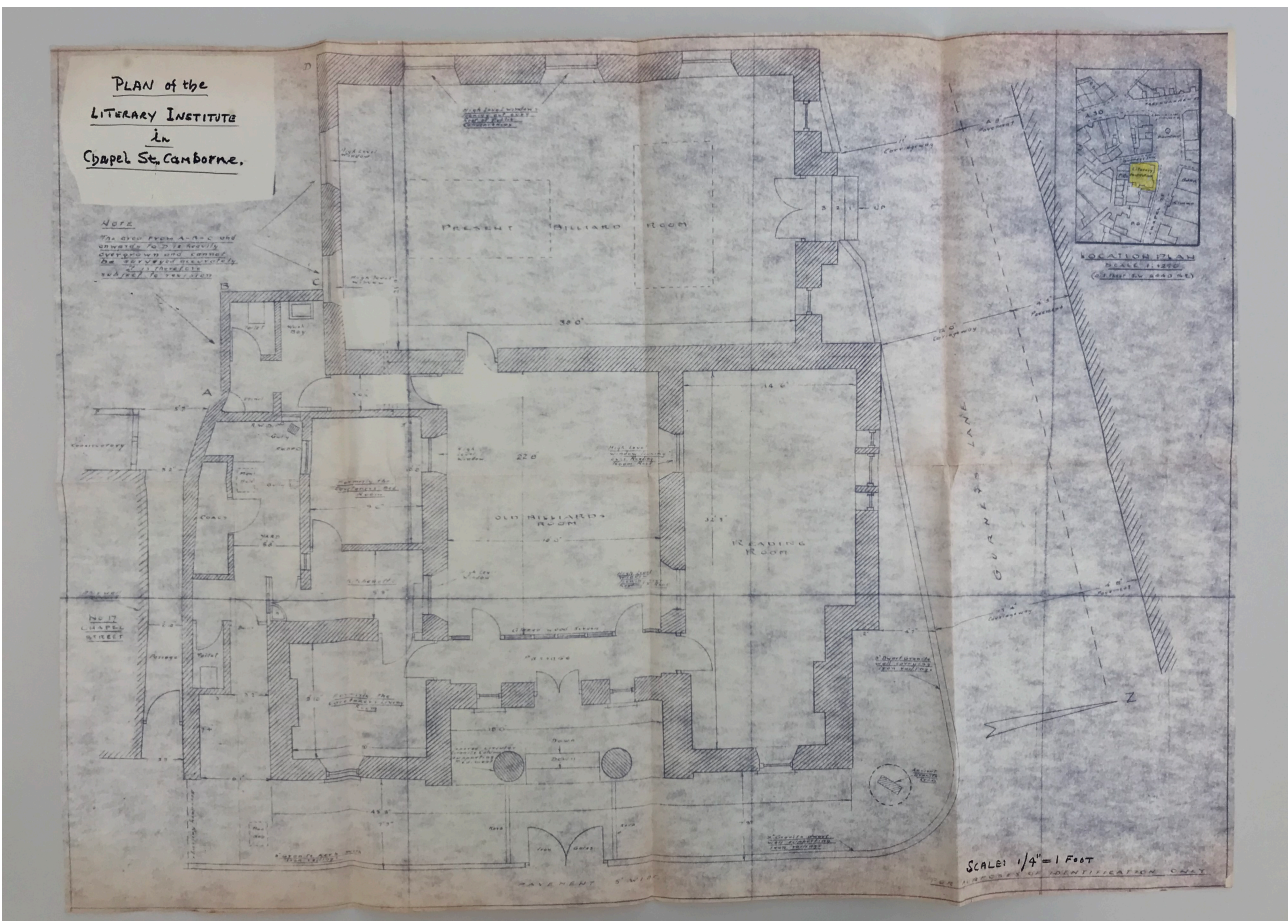
The photographs reproduced below, also from the Kresen Kernow archive, show the building from the other side of the square in adverse weather in March 1891 (left) and on a sunnier day with local men outside in 1900 (right). The image on the right shows that the lantern above the doorway was still present then, and the rear portion of the building was present.





The photograph to the left was found in the Community Centre and is believed to be early mid Twentieth Century. It shows the Literary Institution signage above the door and the arched windows either side of the door, but it appears that the lantern above the door has been replaced with a single hanging lightbulb. The net curtain in the south wing indicates that the room could have been used for

residential. The plan reproduced below, also from the Kresen Kernow archive, is undated, but believed to be late 19th Century. It is particularly interesting in that it includes a caretaker's living quarters and yard in the south wing of the building, and the glazed wooden screen inside the main entrance entrance doors. It shows that the main rear west hall was used as a billiards room, and the north hall as a reading room.



# Prince Charles to open centre

CAMBORNE-REPRUTH PACKET MAY 3RD 1978

PRINCE Charles, the Duke of Cornwall, is to visit Camborne to officially open the new Donald Thomas Day Centre for the elderly on May 24.

He is to arrive at Camborne Recreation Ground by helicopter at 3.45 p.m. and then drive via Rectory Road, Church Street, and Commercial Street to Commercial Square, arriving at the Donald Thomas Centre at about 4 p.m. The Prince is expected to return to the helicopter along the same route at about 4.30 p.m.

The visit is a personal coup for the warden of the centre and secretary of Camborne Community Centre, Kerrier councillor Mr. George Andrews. He thought it would be fitting for the Prince to open the day centre, as King George VI had visited the Camborne Community Centre in South Terrace a week after

its official opening by Sir Edward Bolitho.

He wrote to the Queen. Then Mr. Andrews and the chairman of the day centre appeal committee, Mr. Harvey Prisk, were invited to Buckingham Palace where they met an Equerry to the Queen.

The message that Prince Charles had accepted the invitation came last week via the clerk to the Lord Lieutenant of Cornwall, Lt.-Col. G. T. G. Williams.

On Thursday, Lt.-Col. Williams and Mr. John Alderson, Chief Constable of Devon and Cornwall, joined Mr. Andrews in Camborne for a reconnaissance of the Prince's proposed route.

The new day centre became possible after the Camborne Community Centre sold some land and was able to buy the old Camborne Literary Institute in

Commercial Square. About £50,000 was needed to convert the building into a day centre for the elderly and furnish it, and about £10,000 of the money was donated directly by Camborne residents.



## Big day for Camborne

Prince Charles arrived half an hour late for his visit to the Donald Thomas Centre at Camborne, which is already in use by the elderly and by voluntary organisations.

Crowds waited long before his scheduled time of arrival beneath a sunny sky. Coloured bunting fluttered in a stiff breeze outside the centre where Brownies, Guides, Cubs, Scouts, and St. John Ambulance Cadets had a privileged position in front of the crowds. Camborne Town Band entertained the crowds during the long wait. Then, nearly half an hour behind schedule, Prince Charles arrived in a white Range Rover.

### Brief chat

Prince Charles stopped for a brief chat with one of the Cubs before walking up the red carpet into the centre itself, where those waiting at the entrance were presented to him.

He was immediately full of questions, which gathered momentum as he went through the rooms. "Do you use the centre quite regularly?" "This is a good place to come." "Is the cooking good?" "Do you get on well with your neighbours?" "You can come in and read the papers and things and have a good gossip."

The Prince insisted that elderly women did not get up from their seats. He told one elderly person: "We have a rheumatoid arthritis unit in Truro if you have any trouble. Want to go there — they give you new knees and new arms."

He asked one man "do they give you a pint of beer?" Some of the Prince's questions were about the engineering works in Camborne and others on how the organisations raised funds to provide a centre.

### Unveiled plaque

To commemorate the opening of the centre he unveiled a marble plaque inside the building. The Prince also signed a large coloured photograph of himself taken by the Royal Photographers showing him in the Naval uniform of a commander. This picture is to be hung in the centre.

It was a great occasion for Miss Olive Newton of Fairview, Camborne, who was awarded the OBE after World War I trying to rescue her colleagues during explosions in an ammunition factory at Roskear.

She had not worn the medal since it was awarded to her about 60 years ago, but the Prince spotted it and stopped to have a long chat with her.

Mr. Harvey Prisk, chairman of the management committee of Camborne Community Centre said the Prince had commented to him upon the marvellous turnout.

## 2,000 children roar a welcome

A ROAR of welcome from 2,000 Camborne school children greeted Prince Charles as he stepped from his red helicopter on to the turf of Camborne Recreation Ground, yesterday.

And the Prince returned the greeting with a smile and wave to the children and their teachers of the tubby ground's sloping embankments and the 100 old people sheltering in the grandstand from the chill wind.

In Camborne to open the £50,000 D. W. Thomas Centre, the Prince was greeted by Mr. Jim Ham, Kerrier Council chairman, Mr. Garfield Stevens, chief executive, Mr. George Andrews, Camborne Community Centre secretary, and Police Chief Supt. John Richards.

The schoolchildren had an interrupted view of the Prince, and he spoke to many of them. Kestland pupils held high a huge welcoming flag.

The Prince talks to several children from Camborne's C of E Junior and Infants' schools. He asked them about their homework and took time to straighten six-year-old Ross Orton's green sweater.

Strolling into the adjoining park to meet children and parents, the Prince shook the hand of Mrs. Barbara Sanders an invalid, who had waited three hours to catch a glimpse of him. This was the first time Mrs. Sanders had been out of her home for 15 years.

### Steven's chat

One little boy who will never forget the day is Steven Eves (10), a pupil at Roskear Junior School, who answered the Prince's questions about the captain's and prefect's badges he was wearing.

Prince Charles was driven in a white Range Rover along Rectory Road, lined with members of various uniformed organisations and groups of waving townspeople.

Every vantage point was taken as the Prince arrived in the town centre. People leaned out of office windows overlooking the square, and a group even stood on a bank roof.

The crowd had been waiting patiently because the Prince was more than half-an-hour late. He stopped to ask five Cub Scouts, Jeremy Rogers, Kevin Mitchell, Julian Richards, Sean Willis and Scott King, whether they were exhausted from waiting.

Among those presented to the Prince by Mr. Harvey Prisk, chairman of Camborne Community Centre management committee, were Mrs. Vera Thomas, widow of Mr. Donald Thomas, after whom the day centre is named, and her sons, Prof. Charles Thomas, head of the Institute of Cornish Studies, and Mr. Nicholas Thomas.

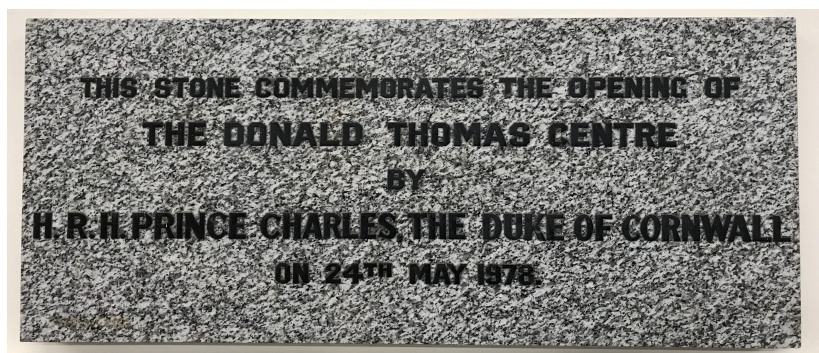
The Prince unveiled a granite plaque to commemorate his opening of the centre and signed an official photograph of himself and the visitors' book.

Camborne Community Centre purchased the building in 1976 and it was reopened the building as a senior day centre in May 1978. There was great fanfare in the town when it was reopened by Prince Charles, and the plaque he unveiled on the day is still in position in the main hall.

The newspaper reports of the day give the cost of converting and refurbishing the building as £50,000, which is not much less than the present valuation (around £75,000, January 2021.)

## Community consultation

The building is currently still owned by the Camborne Community Centre Trust, whose main premises are less than a mile away in a Grade II listed building in South Terrace (list entry number 1159950). Its most recent use was as a senior day centre and community centre, but it has been underused and neglected for a number of years, and had a number (mainly internal) of modifications and alterations. However it is much loved within the town, as this quote, from a campaign to save it in 2018, illustrates:



“The building was imbued with kindness care and love. Priorities cannot be so cockeyed that a vital community resource in the middle of a town struggling in the face of out of town corporate development, for the want of a relatively small amount, cannot be saved with a bit of creative thinking.” (Cornwall Live, 2018)

Over the course of six months Create CIC met and consulted with a range of stakeholders, including representatives of the current owners (Camborne Community Centre Trust), the wider community (in the form of open days and free workshops), college students and staff, local artists and artists from across the county (in the form of an email survey), Council and community leaders, and local medical professionals.

Generally perceptions of the building are associated with either older people, as it was used as a senior day centre from the mid 1970s until a couple of years ago, or the fact that the building has been unused for a while. One word that kept coming up was “community” so it is clear that it is important to keep the building open to the public and as a community asset for the town.



Recent additional uses which came up in the consultation have been for church group meetings, martial arts clubs, jumble sales, art exhibitions “(many, many years ago!)” and youth groups. A few people said they associated the building with the town square, saying it was a focal point in the town, and others noted its association with the annual Trevithick Day celebrations in the town (image from 2006 above provided by Suzie Murley). The memories were overwhelmingly fond and positive, like this; “My late brother spent his time there helping out and doing his Elvis singing. What a fantastic place it was.”

Some older people had recollections of their parents and grandparents attending the Literary Institution to play billiards. “My grandmother liked my grandfather to come here as she knew there wouldn’t be alcohol.”



Undated images of the building provided by Jean Charman, chair of the Community Centre Trust.

## Previous planning applications and listed building consents

Previous statutory permissions for the building are on record on Cornwall Council's website only as far back as 1995.

15 June 2016 PA16/05513

Listed Building Consent for the proposed replacement of main entrance doors, repair of timber sliding sash windows to front elevation, installation of discreet bird spikes, replacement of leadwork, replacement of chimney pot to main ridge and repair of chimney breast and leadwork. Approved with conditions, 10 August 2016.

20 December 2013 PA13/11636

Listed Building Consent for the replacement of existing UPVC rainwater goods with cast iron Victorian Ogee gutters and circular downpipes with associated fixings, painted black. Repairs to rear single glazed timber window. Approved with conditions, 12 February 2014.

24 November 2003 W2/PA03/H0086

Listed Building Consent for the erection of handrail. Approved with conditions, 15 September 2004.

26 August 1999 W2/PA99/00736/F

Alterations and improvement works to building to include new lead roof with roof-lights over dining area. Approved with conditions, 13 October 1999.

22 July 1999 W2/PA99/H0051

Listed Building Consent for alterations to a building by the fixing thereto of a plaque. Approved with statutory / one condition only, 8 October 1999.

17 February 1995 W2/PA95/H0022

Listed Building Consent for alterations to existing building. Withdrawn, 2 October 1995.

## Historical research conclusions

The building has a fascinating and varied history, but has always been a place for the people of the town and associated with leisure and learning. The community consultations have shown that the building is fondly thought of in the town, and there is a strong belief (even if not legally accurate) that the building was given to the people of Camborne in perpetuity.

The proposals aim to build on and continue this ethos and keep it open for the people of the town to engage in social learning activities.

# Existing condition of the building

In general the building is in a good, usable condition, considering its age, and recent underuse and neglect. Since moving into the building in February 2021 Create CIC has regularly heated and ventilated it so the overwhelming smell of damp has reduced. However during heavy rain (which is common in this area) we have identified several places where the roof leaks, two of which are in close proximity to the electrics. Heavy rain has tripped out the power on a number of occasions.

## Existing condition of the exterior

The front facade, columns and portico is solid granite, with one stone lintel in the facade having been fairly recently replaced. The main hall at the back is local stone, the Twentieth Century addition to the south side is blockwork and render, and to the north side is blockwork and stucco. The doors are all Twentieth Century additions - the steel security door to the main hall on the north facade, the wood main front door, and the service door to the side, also on the front facade.



The pigeons nesting at the top of the columns and in the pediment cause a nuisance and a health hazard with their droppings. On wet days the steps and path can become very slippery with droppings. The Christmas lights attached to the pediment fuse the electrics when switched on.



Overgrown guttering and discoloured and peeling stucco and paintwork on the north facade.





The south elevation of the building is adjacent to the Post Office yard.

The top left photograph is from the early Twentieth Century and the lower one is the same view taken in January 2022.

At some point in the late Twentieth Century the windows to the main hall on this elevation were replaced with UPVC, the sloping roof above the toilets replaced with a flat roof with rooflights, and the exterior wall of the central hall rendered in concrete.

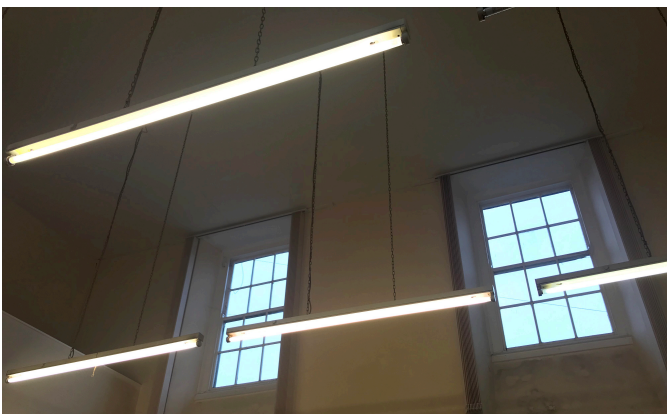


The proposal includes the reinstating of wood framed windows to replace these non-compliant ones, as well as the sloping roofline to replace the current flat roof, which suffers with water ingress and leaky discoloured polycarbon rooflights.

## Existing condition and layout of the interior

The interior has been superficially maintained for many years, with a relatively recent carpet laid over a solid screed floor in the central hall and north facing hall. However all the exterior, and some of the interior walls are damp and exhibit peeling paintwork and crumbling plaster.

The interior has been modified a lot over the years with non-original plasterboard ceilings in the central hall and main hall, and neon strip lighting throughout.





The issue of water ingress has become a major problem in the building whenever there is heavy rainfall. This is worst in the flat roofed area on the north side of the building, with failed rooflights (image above top left) resulting in puddles (image above bottom left) and failures to the flat roof itself resulting in water running down the wall and onto the electrics (image above top right) again resulting in puddles on the floor. The two images above bottom right, above, show water ingress in the main hall. While this is not as severe as that in the other area its proximity to the fuse board and equipment is concerning.



There is also some water ingress through the roof of the kitchen in the south west corner of the building. This also results in some puddling, and being right above the strip light in that room is also concerning (image left).

Some emergency patching up to the flat roof has been undertaken recently by the Community Centre however this hasn't solved the problem.

The electrics have been safety checked by an electrician commissioned by Create CIC in November 2021. Currently there is provision for three phase intake but only a single phase meter. Create CIC has arranged for SSE, the electricity service provider, to replace the meter with a three phase unit in February 2022. This will enable the use of larger kilns and other equipment.

Many of the sockets are surface mounted and sometimes wiring has been installed in an ad hoc manner, trailing, hung from walls and ceilings, and punched through window frames. The proposal includes an overhaul and rationalisation of the electrical circuits in the building, providing a neater and safer system including conduits and trunking, and all places where the previous system has compromised the integrity of the building made good.

The building is currently heated using a gas fired boiler system, with radiators like those in the image right in every room, most of which have thermostatic valves. Some of the radiators are showing signs of rusting. The locations are marked on the measured survey plan.

The system (images below) includes two GloWorm 24Kw heat only boilers which connect to a header which combines the output of both boilers to supply hot water and heating. There is a granulation pump and two valves,

which allow the hot water and central heating systems to be operated separately using an S Plan system. The system is controlled by a domestic two channel programmer and a working room thermostat which is situated by the toilets. It is estimated that the boilers were installed in 2001,

and records show they were last serviced in 2020. The radiators are estimated to be part of a much older system, being around 30 to 40 years old. The pipework from the boilers is buried in the concrete screed and due to the diameter is believed to be part of an even older system. The installation is inefficient and should be separated into zones.



As can be seen on the measured drawing plan, there is currently an overprovision of toilets for a building of this size. All toilets, wash hand basins and urinals are in working order, however the accessible toilet provision does not meet current regulations. The flooring is brown lino and the walls and ceilings are painted.



The proposal involves the removal of all existing toilets, wash hand basins and urinals and the provision of new accessible facilities.

The south east wing of the building was used by the Community Centre as an industrial kitchen. Most of the fixtures and fittings of this kitchen, including a stainless steel range cooker and warming cupboard, were removed in early 2021, so all that remains is some ductwork, tiling to the walls, and the double stainless steel sink. Create CIC has been using this space as an ad hoc glaze room for the pottery (three images below). The ductwork is open to the element and therefore there is water ingress when it rains.

The proposal is to keep this room as the glaze room, adjacent to the proposed new ceramics studio. This will mean that the existing plumbing and drainage can be utilised. All sinks in the ceramics areas will need to be fitted with clay traps to ensure the waste is kept clear of blockages caused by clay.



The north hall (image top right) was renovated in 1977, when the roof trusses were exposed and a polycarbon rooflight installed. It is assumed that the opening to the kitchen was also made at this time, as well as the folding doors to the central hall. Some of this work was undertaken with funding from Camborne Rotary and Camborne Ladies Circle.



The proposal is to preserve these exposed trusses and copy this aesthetic in the adjacent central hall. The polycarbonate rooflight would be replaced with a glazed one.

The central hall has a Victorian glazed screen separating the hall from the main entrance doorway. Above this is a mezzanine level reached by a folding loft ladder (image bottom right). The proposal is to move this screen directly above to secure the mezzanine, and build some lightweight removable stairs to allow safe access.





The north and central halls are currently carpeted, the kitchens, toilets, and corridors adjacent to the toilets have lino, and the main west hall has a parquet floor. Under these floor coverings is solid concrete screed. The parquet floor is damaged in places, due to woodworm, rot and general wear and tear, especially around the external doorway (images below).

As was seen in the building exterior section above, the windows in the main west hall south elevation are UPVC and therefore non-compliant and in need of replacing. The ceiling in this space is discoloured plasterboard and the walls are clad in painted timber, as in the central hall.

To the north elevation are high level symmetrical stained glass windows, in need of some repair, either side of the steel security door to the street.



## Building condition survey

Chris Hunter of Scott and Co undertook a structural condition survey. A summary of his findings and recommendations is below and his full report is in appendix 1.

He noted that "In general the building is in good condition given its age and recent neglect. However, this is just a survey of the present condition of the building, not a full structural survey. It cannot guarantee what may or may not be uncovered once a full structural survey is undertaken."

### **Major issues / works flagged**

Reinstate all missing and slipped or damaged slates.

Provide improved weathering to upstand from flat roof to south wall of west hall. Clear blocked valley south of R5.

Attend to and repair / overhaul rainwater goods and disposal.

Remove vegetation from walls.

Undertake electrical inspection and deal with required repairs.

Allow for repairs and re-slating to R3 to cure water ingress.

### **Within 2 Years**

Take down and rebuild chimney C1.

Attend to joinery repairs to rotten windows W11 and W12.

Investigate and improve weathering to W15 and W16.

Take down south flat roof extension or undertake repairs to existing fabric. Allow for accessing and dealing with weathering to coping stones – fill joints. Access and investigate portico granite lintels.

Allow for pointing to open joints to cut granite walling to east, north and south. Access and point / re-set ridges and hips.

Attend to poor detailing on downpipe west of R5 parapet.

Remove steel flue from south kitchen and make good.

Improve weathering from flat roof if retained.

Dress back parapet leadwork capping.

### **Within 5 Years**

Allow for re-pointing to all areas in lime.

Allow for stripping cement render and re-render in lime. Allow for internal plaster repairs / replacement.

Replace timber UPVC windows with timber alternatives. Point to base of wayside cross.

Attend to external paving, plinth walls and detailing.

### **Routine**

Reinstate slipped slates and loose tingles.

Test all services

Clean gutters and downpipes

Ensure adequate ventilation

Redecorate.

Remove debris from gullies and plant growth.

Clear paths.

Check security.

## Summary of building condition

For a building of this age and neglect it is in a relatively good condition. The services are operational, if not efficient, the roof leaks in places, but only during very heavy downpours, and the building is usable in its current state, although not ideal for its proposed purpose.

The exterior remains fairly unchanged from the original design, however many of the original interior features have been changed or lost over the years. Most of the windows are sash windows which, although are not in perfect condition, can in the main be repaired rather than replaced. The non-compliant UPVC windows to the south facade of the main hall will need to be replaced. Although there are many chimneys, no fireplaces remain, under the existing floorcoverings is solid concrete screed, so it can be assumed that the original flooring has been lost

Much of the works necessary are fairly superficial and can be kept on top of with regular maintenance, however, for the building to be brought to a state where it is fit for its proposed new purpose and can be operated in a financially and environmentally sustainable way for many years to come many changes will be needed, which will only enhance and preserve the building rather than be detrimental to it, as previous alterations have been.



# Measured survey

John Preston of Preston Engineering undertook a measured survey and produced the following plan, sections and elevations. These will form the basis of the design development.

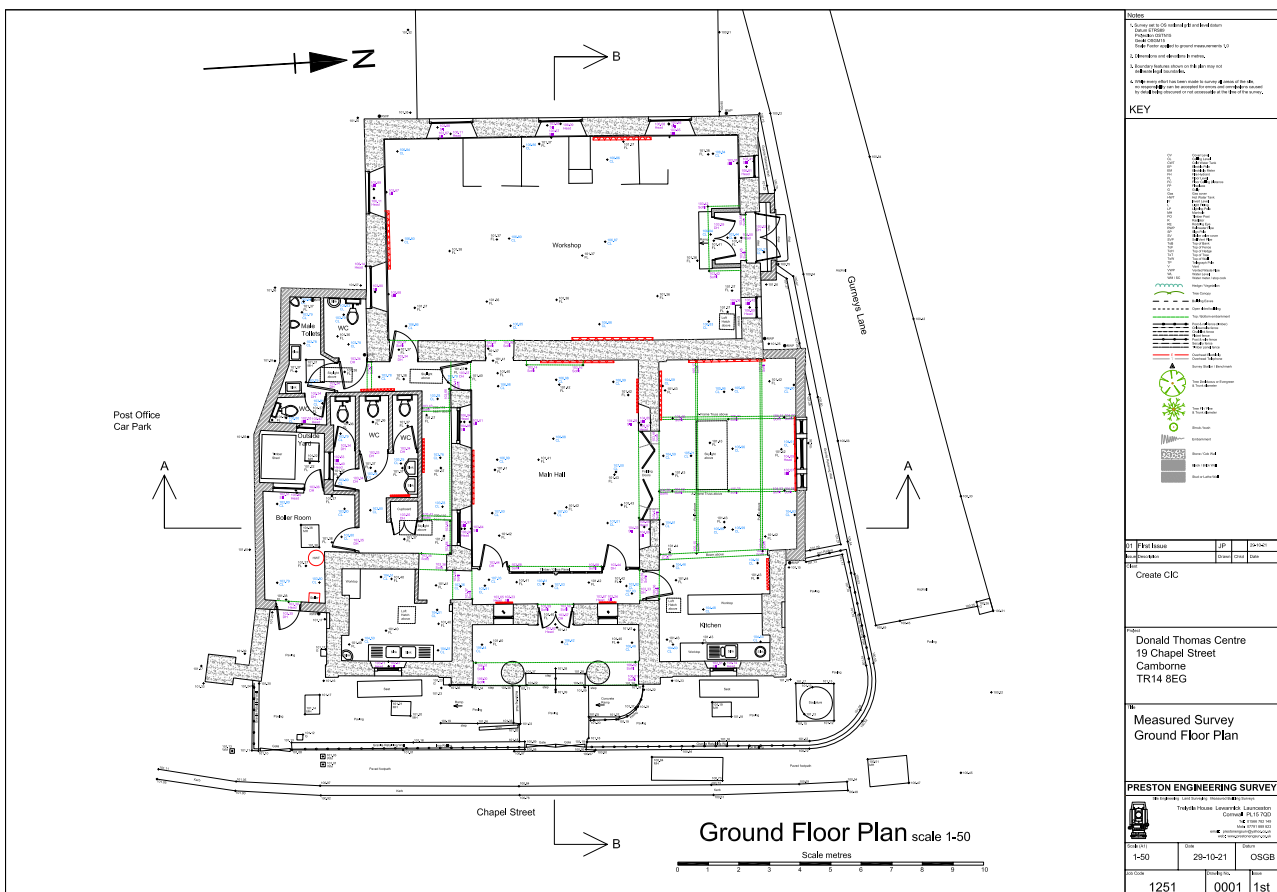
As the building is on a corner site two sides (north to Gurney's Lane and east, the main front facade, to Chapel Street) are facades to the street. The rear (west) facade has become a party wall to the adjacent residential properties, and the south is to the adjacent Post Office car park / yard.

The only exterior space within the footprint is the paving between the front of the building and the railings, which includes the wayside cross scheduled monument, and the small yard next to the south facade, accessed only from the boiler room.

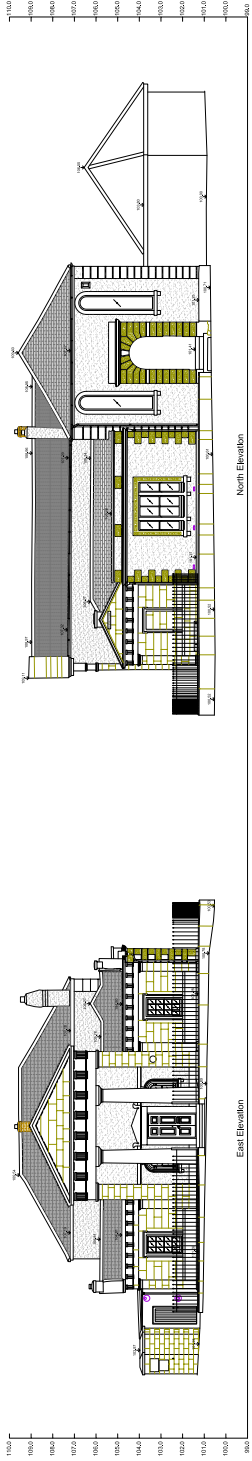
There is a mezzanine above the entrance, accessed by ladder. There are loft hatches in the workshop, above the mezzanine and in the two kitchens.

There are skylights in the north hall and in the corridors outside the toilets.

There is currently an over-provision of toilets and kitchen facilities for a building of this size. These were added in the 1970s when the Community Centre took ownership of the building and it was to be used as a day centre for seniors. The toilets and urinals are all situated in the flat roofed Twentieth Century addition in the south section of the building. The existing accessible toilet does not meet current regulations. The two kitchen areas (one industrial scale, most fittings removed by the Community Centre in February 2021, and one domestic scale, still in use) are sited within the two symmetrical wings either side of the entrance portico.



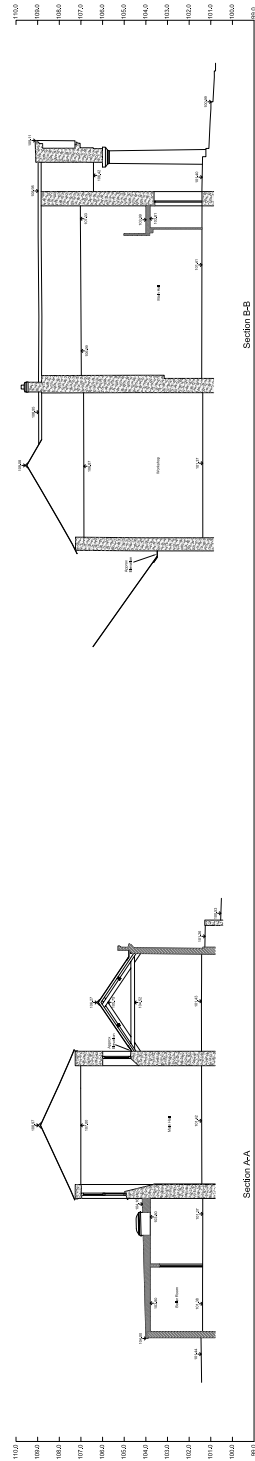
# Elevations scale 1-100



East Elevation

North Elevation

# Sections scale 1-100



Section A-A

Section B-B

**NOTES**

1. All work to be done in accordance with the relevant Australian Standards.
2. All work to be done in accordance with the relevant Australian Standards.
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9. All work to be done in accordance with the relevant Australian Standards.
10. All work to be done in accordance with the relevant Australian Standards.

## KEY

<ul style="list-style-type: none"> <li>1. Concrete</li> <li>2. Brickwork</li> <li>3. Masonry</li> <li>4. Plaster</li> <li>5. Timber</li> <li>6. Glass</li> <li>7. Metal</li> <li>8. Insulation</li> <li>9. Roofing</li> <li>10. Cladding</li> <li>11. Landscaping</li> <li>12. Fencing</li> <li>13. Driveways</li> <li>14. Paths</li> <li>15. Stairs</li> <li>16. Railings</li> <li>17. Windows</li> <li>18. Doors</li> <li>19. Roofs</li> <li>20. Gutters</li> <li>21. Downpipes</li> <li>22. Chimneys</li> <li>23. Ventilation</li> <li>24. Heating</li> <li>25. Cooling</li> <li>26. Electrical</li> <li>27. Plumbing</li> <li>28. Mechanical</li> <li>29. Fire</li> <li>30. Security</li> <li>31. Accessibility</li> <li>32. Sustainability</li> <li>33. Heritage</li> <li>34. Conservation</li> <li>35. Restoration</li> <li>36. Renovation</li> <li>37. Extension</li> <li>38. Alteration</li> <li>39. Demolition</li> <li>40. Foundation</li> <li>41. Structure</li> <li>42. Envelope</li> <li>43. Interior</li> <li>44. Exterior</li> <li>45. Landscape</li> <li>46. Site</li> <li>47. Context</li> <li>48. Function</li> <li>49. Form</li> <li>50. Material</li> </ul>	<ul style="list-style-type: none"> <li>1. Concrete</li> <li>2. Brickwork</li> <li>3. Masonry</li> <li>4. Plaster</li> <li>5. Timber</li> <li>6. Glass</li> <li>7. Metal</li> <li>8. Insulation</li> <li>9. Roofing</li> <li>10. Cladding</li> <li>11. Landscaping</li> <li>12. Fencing</li> <li>13. Driveways</li> <li>14. Paths</li> <li>15. Stairs</li> <li>16. Railings</li> <li>17. Windows</li> <li>18. Doors</li> <li>19. Roofs</li> <li>20. Gutters</li> <li>21. Downpipes</li> <li>22. Chimneys</li> <li>23. Ventilation</li> <li>24. Heating</li> <li>25. Cooling</li> <li>26. Electrical</li> <li>27. Plumbing</li> <li>28. Mechanical</li> <li>29. Fire</li> <li>30. Security</li> <li>31. Accessibility</li> <li>32. Sustainability</li> <li>33. Heritage</li> <li>34. Conservation</li> <li>35. Restoration</li> <li>36. Renovation</li> <li>37. Extension</li> <li>38. Alteration</li> <li>39. Demolition</li> <li>40. Foundation</li> <li>41. Structure</li> <li>42. Envelope</li> <li>43. Interior</li> <li>44. Exterior</li> <li>45. Landscape</li> <li>46. Site</li> <li>47. Context</li> <li>48. Function</li> <li>49. Form</li> <li>50. Material</li> </ul>
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01	Part Issue	JP	26/06/21
02	Final Issue	JP	26/06/21

Create CIC

Donald Thomas Centre  
19 Chapel Street  
Carlborne  
TR14 8EG

Measured Survey  
Elevations & Sections

**PRESTON ENGINEERING SURVEY**

117-119 Market Street, Preston, Lancashire PR1 2QY  
01773 533333  
www.preston-engineering.co.uk

1251

28-10-21

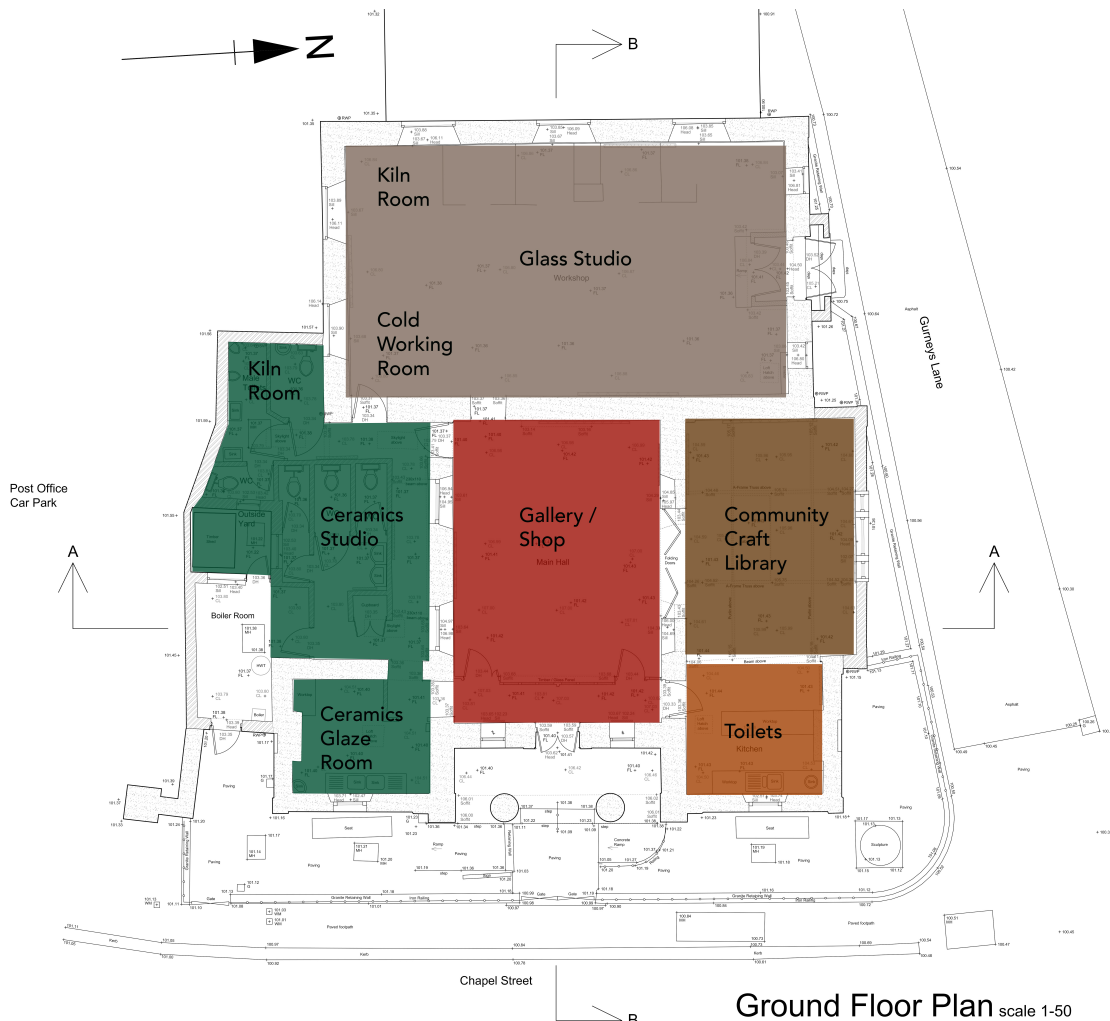
0002

1st

# Design development

As a team Create CIC has extensive experience in the design and set up of workshop spaces. Angela trained as an architect and Jane has set up numerous ceramics and glass studios. Having the opportunity to work from the building ahead of the renovations, during the design development phase, has allowed Create CIC to test different layouts and ways of operating within the parameters of the space. The primary decisions were based on the following:

- As far as possible the existing building should be retained or reverted to its original state
- Any interventions should be removable without trace
- Any interventions should enhance, rather than detract from, the character of the building
- It is necessary to separate the glass studio and ceramics studio due to practical considerations
- Wet areas should be placed near existing plumbing and drainage connections
- The ceramics studio would benefit from a yard and separate entrance for large deliveries
- The public areas, gallery / shop, library and toilets, should be adjacent to each other
- The entrance space gallery / shop should be open and welcoming
- All spaces should be accessible from the gallery / shop as this will also serve as reception.

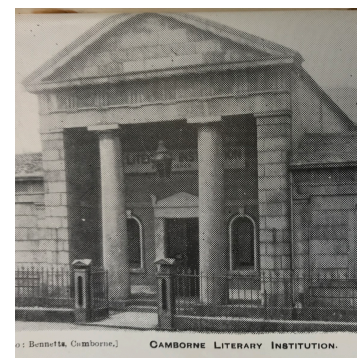


In January 2021 BA Architecture students at Falmouth University did a three day 'charette' project exploring the idea of transforming the Donald Thomas Centre into a contemporary crafts hub. They then went on to do a larger mixed use project using either the bus station or the Trevithick site for their theoretical designs.

Two of the students, Julia Preece and Nicki Parkyn were interested in continuing their work on the Donald Thomas Centre and work with Create CIC to produce some drawings and visualisations to explore the layout and aesthetic of the proposed conversions. Some of these are included here.



Currently the main front door is solid wood and the wall within the portico is flaking pebbledash. The proposal is to replace the wooden door with a glazed door to foster a sense of openness and give the community ownership of the building, allowing people to see through to the shop and exhibition space, and replace the pebbledash with a community mosaic, using tiles designed and made by local schoolchildren in the hub. The existing freestanding signage would be removed and signage with the Camborne Contemporary Crafts Hub logo will be hung within the portico above the door. There is precedent for the signage above the door as the words 'Literature Institution' and a lantern were previously there. The uneven concrete sets and flags will be replaced by local stone and a removable ramp will be installed to make the front entrance fully accessible.





The doorway on the north elevation of the building to Gurney's Lane is currently a place of undesirable behaviour with graffiti, empty bottles and vomit often being found there. The proposal is to replace the existing steel security door with a new door glazed door and fan light, to reinstate the arched shape of the door and provide a visual link between the proposed workshop within and the street. The painted over lettering 'Lecture Hall' will also be reinstated and the stained glass windows will be restored. The stucco will be made good and the facade will be repainted.

Currently there is a Victorian glazed screen facing visitors as soon as they come through the main front door. This acts as a barrier to the community entering the space. We would like to take out this screen and potentially use it somewhere else in the building, possibly directly above its current position to secure the mezzanine above. The existing mezzanine is currently only accessible by ladder, so to make this a usable space the proposal includes a stair.

Create CIC has been using this space as a temporary office and jewellery workshop teaching space (image below left). The vision is to transform this space into a light, welcoming gallery and shop (image below right). A central display plinth will be constructed, together with a matching reception desk. To match the ceiling in the adjacent library the proposal is to remove the existing plasterboard ceiling to open up the roof structure.



The existing south side of the building is mainly taken up with toilets in an area that is built of concrete blockwork with a flat roof and polycarbon rooflights. The proposal is to make the most of the natural light on this side of the building and create a new ceramics studio with level access and an exterior yard. The precedent for the new sloping roof to replace the existing flat roof can be seen on page 12. In the studio will be sinks and drainage, a kiln room, and access to the glaze room. The studio will contain rentable workspaces for artists working in ceramics, a large communal table for teaching and workshops, racking and storage for work and tools, and hazardous substance (COSHH) storage.

The external yard will have a separate gated entrance to allow heavy deliveries of clay, equipment and work to be fired. The yard will be used as an extension to the studio, for working, clay storage and external firings. Double glazed doors between the yard and the studio will allow natural light into the studio, and level, wide access.



The left wing at the front of the building is currently being used as an ad hoc glaze room (see images on page 15 in the building condition section). This would be fully fitted out with shelving and hazardous substance (COSHH) storage. There is potential for the existing ductwork, which was formerly extraction for the kitchen, to be reused to create adequate extraction and ventilation for the ceramics studio and glaze room.

The proposal for the main hall to the rear of the building is for glass and jewellery studios. Like the ceramics studio, this space will include rentable workspaces for artists, as well as a large central communal table for teaching and workshops, and racks and cabinets for the storage of work and equipment.

Part of one end of the room will be enclosed to form a cold working room, which requires plumbing and drainage. Adjacent to this will be the glass kiln room, which will be open to the studio, but with a fireproof curtain which will lower on the sound of the fire alarm. A mezzanine, accessed by a light staircase, will be built to go over these to provide additional studio space. This is where the jewellers' workspaces will be.



The proposal will include new environmentally sustainable lighting throughout, and the cause of the damp in all interior and exterior walls will be ascertained and remedied.

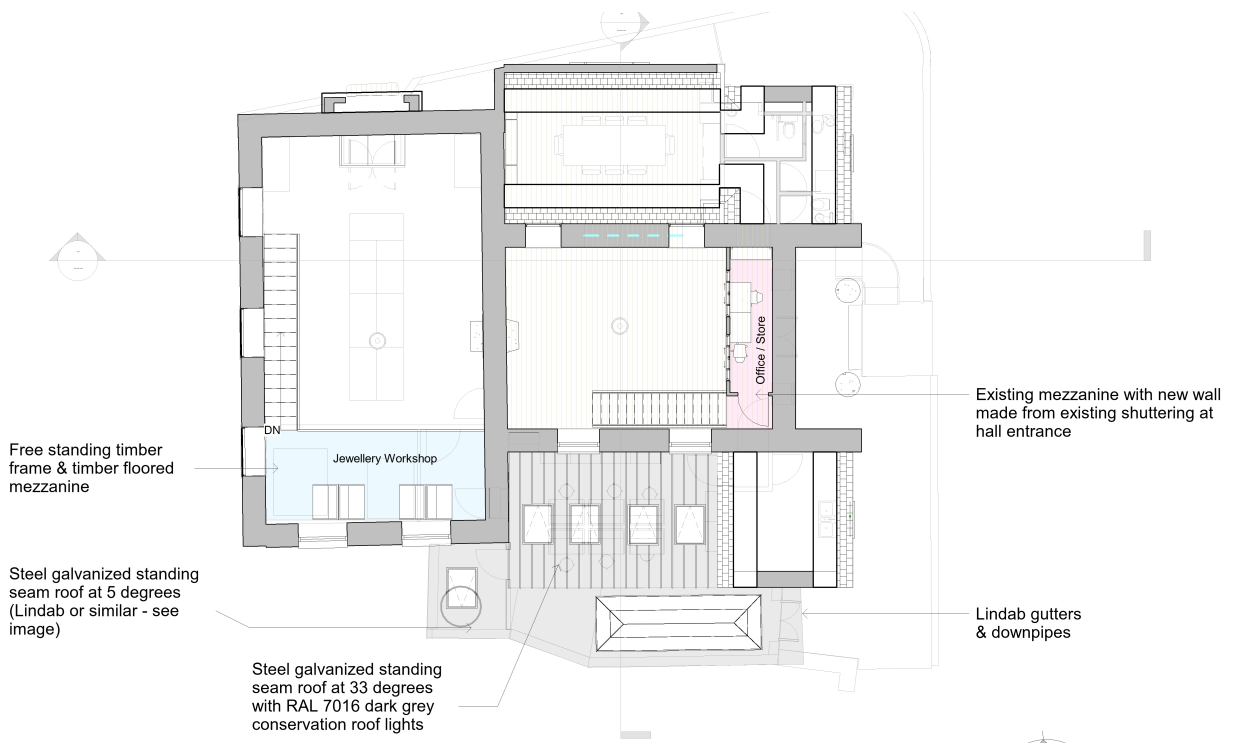
### Heritage Consultant's notes

Chris Hunter, the surveyor and heritage consultant from Scott and Co. noted that everything within the footprint of the site, including parts of the building which appear to have no architectural or historical merit, is covered by the listing. However, as long as any interior additions (such as the stairs and mezzanine in the main hall) are removable and don't affect the fabric of the building a case can be made to the authorities for their inclusion in the design proposals.

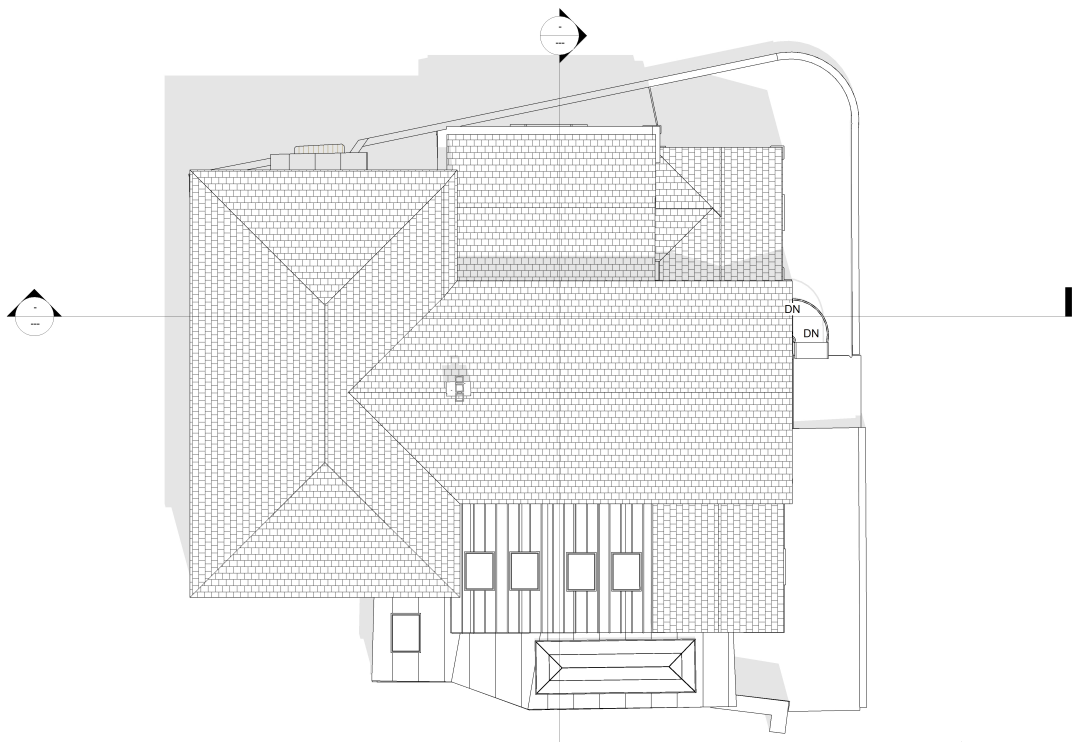
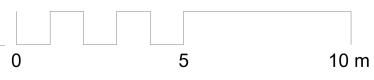
He noted that as the building is in need of repair and could be at risk if left in the current state the authorities would probably look favourably on any sympathetic proposals which aim to enhance the building and bring it back into full use.



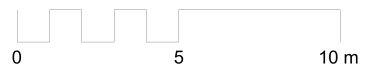




**1 Proposed Mezzanine Plan (GA)**  
1 : 100



**3 Proposed Roof Plan (GA)**  
1 : 100



# Environmental sustainability

Create CIC have been working with Professor Adam Feldman, Professor of Renewable Energy Engineering at Exeter University, together with his MSc and BEng students, on potential sustainable energy solutions for the refurbished building. This project could be a trailblazer in terms of innovative sustainable solutions for energy heavy crafts, arts and engineers.

By 2050 the aim of the Government is for the UK to be carbon neutral. Currently 40% of emissions comes from the built environment. The aim of this project is to take an existing building and make it as sustainable as possible and, if Historic Building and Planning Permissions allow, carbon neutral. The new part of the building (the ceramics studio) should be built to PassivHaus principles and the existing part should be retrofitted to EnerPhit standards.

The main factors which affect the sustainability of a building are;

- Form - making it as compact as possible
- Orientation - south facing in the northern hemisphere
- Window size - big on the south, skylights and brize soleil where required
- Airtightness - limiting the amount of air changes which can accidentally happen by minimising uncontrolled air leakage
- Insulation

When undertaking a renovation project such as this the form and orientation is already set as the building is in a fixed position. The building has high ceilings in most of the spaces, so the form could not be described as compact, and at the moment there are only four south facing windows, two to the main hall and two to the central hall. To lower the ceilings would severely detract from the character of the interiors, so other ways of making the heating of the building more efficient must be found.

The biggest heat losing areas of buildings are generally the windows, and this building is no exception. The most efficient windows here are actually the non-compliant UPVC windows on the south elevation of the main hall. Ideally the existing sash windows would be replaced with double glazed modern equivalents, but this may be cost prohibitive.

When the ceilings are replaced there is the opportunity to include insulation which isn't currently present in the roof areas.

Solar PVs are becoming more efficient, and three 6kW systems would be enough to power all four of Create CIC's kilns. To be able to install the number of panels required would require about 150sqm of roof area, which may not be feasible for a listed building.

There is the exciting potential for a heat reuse and district heating system to be installed at the Donald Thomas Centre, allowing excess heat from the glass and ceramics kilns to be stored and reused to heat and supply hot water to the rest of the building and a number of surrounding properties.

# Summary and evaluation of cost report

Joanna Godolphin of Pink Pebble Consulting undertook a cost evaluation based on the building condition survey and the initial design proposals. A summary of her findings is below, together with a list of caveats and omissions, and her full report is in appendix 4.

The initial total estimate for necessary works to the building to undertake any remedial works, renovated it to a 'reasonable' standard and to make it fit for purpose as a contemporary crafts hub is £1,070,741. This excludes the purchase of the building and any associated costs, and any client side project management costs. The January 2021 valuation of the building was around £75,000, so it could reasonably be assumed that the building purchase will add another £125,000 to the project cost, bringing it to a total estimate of £1,202,041 before any omissions or caveats outlined below are taken into account.

The budget allowed for under the terms of the Camborne Town Deal for this project is £473,785, leaving an overall shortfall of at least £728,241, or almost two thirds of the total required budget.

The proposal is to stage the works so that a) the building can continue to be used throughout, b) the greatest impact can be made in stage one using the Town Deal funding, and c) Create CIC will have time to apply for more grant funding and potentially raise money from other sources to complete the work.

## Summary and caveats of the cost consultant's report

- The Estimate is based on a single stage, selective tendering traditional procurement strategy. No allowance has been made for phasing the works, however it is anticipated that some informal phasing in agreement with the appointed contractor will occur, and a discussion surrounding storage of materials, along with site set up and welfare will be needed prior to works commencing.
- The cost report does not take into consideration inflation cost increases should the project be delayed.
- It proposes that the project will be finished to a 'reasonable' standard rather than a high standard which should be expected.
- An asbestos survey has not yet been done and should asbestos be found (likely in a building which was refurbished in the 1970s) this will likely incur a substantial cost for safe removal.
- It does not take into account the need for the renovations to be completed as sustainably as possible.
- It does not take into account Create CIC's work with Exeter University to propose a heat recovery system which will allow waste heat from the kilns to be used to heat the rest of the building and provide a district heating system for up to fifteen neighbouring properties. If built this would become an innovative and groundbreaking eco project, which could raise the profile of the town and the Town Deal substantially and generate a lot of

positive publicity, building on the town's FairTrade status to also be able to apply for sustainable town and green tourism recognition.

- Create CIC has the flexibility to apply for match funding in order to deliver a high quality (rather than merely 'reasonable' quality) project.
- It does not take into account whole life costs of the building including ongoing maintenance and ensuring materials are of a standard which will last.

The following have at present been envisaged as possible risks to the project. These risks are excluded from this Estimate and do not form part of the 10% contingencies described.

- Insufficient funding for scheme envisaged
- Contaminated ground
- Inability to obtain planning permission
- Inability to obtain listed building consent
- Excessively onerous planning or listed building consent permissions
- Limited capacity in existing services installations
- Scope changes
- Archaeological findings
- Encountering unsuitable ground conditions or solid rock
- Underpinning works to the existing building
- Further strengthening works to the existing structure
- Ground investigation and opening up works uncovering severe structural issues not presently envisaged.

## Conclusions and project plan

The shortfall in budget necessitates the project to be phased, to allow time for match funding to be applied for. To ensure that Create CIC remains a viable business throughout the renovation works it is important that the building remains open and usable throughout.

The outline programme, drawn up by Pink Pebble in consultation with Create CIC, can be seen on the following page.

Proposed Programme

ID	Task Name	Duration	Start	Finish	% Complete
1	<b>OGC 2 - Delivery Strategy</b>	<b>318 days</b>	<b>01/05/21</b>	<b>20/07/22</b>	<b>56%</b>
2	First community course/workshop run	0 days	01/05/21	01/05/21	100%
3	Temporary jewellery workspaces available to rent	0 days	01/05/21	01/05/21	100%
4	New kilns installed	0 days	01/08/21	01/08/21	100%
5	First kiln firings	0 days	01/09/21	01/09/21	100%
6	First commercial course/workshop run	0 days	01/09/21	01/09/21	100%
7	Community and stakeholder brief consultation completed	30 days	01/10/21	31/11/21	100%
8	Business case submission - draft	44 days	01/12/21	31/01/22	91%
9	Project brief finalised	44 days	01/12/21	31/01/22	91%
10	Business Case - Draft Deadline	0 days	31/01/22	31/01/22	0%
11	Business Case - Final Deadline	0 days	28/02/22	28/02/22	0%
12	Business Case - Submission Deadline	0 days	31/03/22	31/03/22	0%
13	Towns Deal Board Consideration	60 days	31/03/22	22/06/22	0%
14	Project Approval	0 days	22/06/22	22/06/22	0%
15	Funding Release	20 days	23/06/22	20/07/22	0%
16	Funding Release to CIC	0 days	20/07/22	20/07/22	0%
17					
18	<b>OGC 3A - Design Brief &amp; Concept Approval</b>	<b>180 days</b>	<b>21/07/22</b>	<b>29/03/23</b>	<b>0%</b>
19	Create CIC progress with purchase of DT Centre	30 days	21/07/22	31/08/22	0%
20	Acquisition of Donald Thomas Centre Complete	0 days	31/08/22	31/08/22	0%
21	Community and stakeholder design consultation	60 days	21/07/22	12/10/22	0%
22	Planning & Listed Building Application Information Preparation	60 days	21/07/22	12/10/22	0%
23	Planning & Listed Building Application Submission	0 days	12/10/22	12/10/22	0%
24	Determination Period	40 days	13/10/22	07/12/22	0%
25	Planning & Listed Building Consent Issued	0 days	07/12/22	07/12/22	0%
26	Submission of Planning & Listed Building Pre-Commencement Conditions	80 days	08/12/22	29/03/23	0%
27					
28	<b>OGC 3B - Detailed Design Approval</b>	<b>110 days</b>	<b>08/12/22</b>	<b>10/05/23</b>	<b>0%</b>
29	Detailed Design	40 days	08/12/22	01/02/23	0%
30	Contractor Procurement Period (enabling works)	30 days	05/04/23	15/02/23	0%
31	Contractor Procurement Period (demolition)	30 days	02/03/23	12/04/23	0%
32	Contractor Procurement Period (main contract)	60 days	03/03/23	26/04/23	0%
33	Enabling Works Tender Assessments	10 days	16/02/23	01/03/23	0%
34	Demolition Works Tender Assessments	10 days	13/04/23	26/04/23	0%
35	Main Contract Works Tender Assessments	10 days	27/04/23	10/05/23	0%
36					
37	<b>OGC 3C - Investment Decision</b>	<b>600 days</b>	<b>05/04/23</b>	<b>23/04/25</b>	<b>0%</b>
38	Party Wall Period (if required - notices, awards etc.)	40 days	05/04/23	01/03/23	0%
39	Potential Notifiable Asbestos Removal, including HSE Notification Period	20 days	02/03/23	29/03/23	0%
40	Enabling Contract Awarded	0 days	01/03/23	01/03/23	0%
41	Enabling Contract Mobilisation Period	20 days	02/03/23	29/03/23	0%
42	Enabling Works	40 days	30/03/23	24/05/23	0%
43	Demolition Contract Awarded	0 days	26/04/23	26/04/23	0%
44	Demolition Contract Mobilisation Period	20 days	27/04/23	24/05/23	0%
45	Demolition Works	20 days	25/05/23	21/06/23	0%
46	Construction Contract Awarded	0 days	10/05/23	10/05/23	0%
47	Construction Contract Mobilisation Period, inc CDM Planning Period	30 days	11/05/23	21/06/23	0%
48	Construction Phase 1: Ceramics Studio Extension	240 days	22/06/23	22/05/24	0%
49	Construction Phase 2: Formation of Glass Studio	120 days	23/05/24	06/11/24	0%
50	Construction Phase 3: Shop & Library	120 days	07/11/24	23/04/25	0%
51					
52	<b>OGC 4 - Readiness for Service</b>	<b>20 days</b>	<b>23/04/25</b>	<b>21/05/25</b>	<b>0%</b>
53	Construction Works Completion	0 days	23/04/25	23/04/25	0%
54	Create CIC Finish Fitting Out	20 days	24/04/25	21/05/25	0%
55	Community Unveiling/Official Opening	0 days	21/05/25	21/05/25	0%
56	Facilities Available To Rent	0 days	21/05/25	21/05/25	0%
57					
58	<b>OGC 5 - Operations Review &amp; Benefits Realisation (Ongoing)</b>	<b>60 days</b>	<b>22/05/25</b>	<b>13/08/25</b>	<b>0%</b>
59	First exhibition opens	30 days	22/05/25	02/07/25	0%
60	First artist masterclass	30 days	22/05/25	02/07/25	0%
61	First apprentice taken on	30 days	03/07/25	13/08/25	0%

## Conclusions and next steps

Having had the opportunity to operate the Camborne Contemporary Crafts Hub from the Donald Thomas Centre for a number of months Create CIC has concluded that although the building is not perfect for this purpose it is feasible. In an ideal world a contemporary crafts hub containing the sort of workshops and equipment that this project contains would be housed in an open shed or warehouse type building with parking and a loading bay. However, such buildings are rarely found in town centre locations. The town centre location and the opportunity to preserve this iconic and beautiful building, allowing it to continue its life serving the people of Camborne, outweigh any potential difficulties with the status and form of the building.

Create CIC are currently working with Cornwall Council's consultants to produce a business case for the Camborne Contemporary Crafts Hub project. Once this is approved by the Town Deal Board, Cornwall Council and Central Government, the funding for the first stage of works should be released. This will allow the purchase of the building to go through, design development to be taken to the next stage, and consultations with statutory authorities to commence as all works will need Historic Building Consent as well as Planning Permission.

The first works will be remedial, to ensure the building is watertight and free from damp, and that previous non-compliant works, such as the UPVC windows to the main hall, are replaced with features more in keeping with the building.

The aim is to schedule the works so the building can remain in use throughout, so the resituating of the toilets to free up space on the south side of the building is a priority. This will allow fully accessible toilets to be installed, which will be a benefit to the town as well as specifically users of the building.

Creating the new ceramics studio will be a major piece of work which involves the demolition of part of the existing structure and rebuilding in a sustainable, aesthetically sympathetic, and fit for purpose way. As the new ceramics studio is mostly enclosed the only impact this phase will have on the exterior of the building will be to reinstate the original roofline.

Once additional funding has been sourced the next phases can be undertaken; the full decoration of the existing interiors, cleaning and remedial work to the exteriors, a stair installed to the mezzanine in the central hall, the mezzanine and stair installed in the main rear hall, and the new external doors fitted.

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# Appendices

## Appendix 1 - Viability study project budget

### Proposed budget

Heritage survey	£2500
Building condition survey	£2500
Cost consultant	£2500
Community consultation	£2500
Architectural proposals	£2500
Management, evaluation and report	£2500
<b>TOTAL</b>	<b>£15,000</b>

### Interim claim November 2021

Building condition survey	£4200
Draft report	£1000
Design development	£210
<b>TOTAL</b>	<b>£5,410</b>

### Final actual budget

Building condition survey	£4200
Measured drawings	£2520
Heritage consultation	included in condition survey
Cost consultant	£1340
Environmental consultant	£1000
Architectural proposals	£690
Community consultation	£700
Historical research	£2000
Management, evaluation and report	£2500
Plumbing consultant	£50
<b>TOTAL</b>	<b>£15000</b>



Appendix 2 - Structural condition survey

**BUILDING INSPECTION REPORT**

**OF**

**DONALD THOMAS CENTRE, CAMBORNE**



**Scott and Company**  
**3 Lemon Villas**  
**Truro TR1 2NX**

**Tel: 01872 263939**  
**Fax: 01872 262299**

**As inspected 8<sup>th</sup> July 2021**  
**CGH/8095**

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**BUILDING INSPECTION REPORT**  
**OF**  
**DONALD THOMAS CENTRE, CAMBORNE**  
**WITH ADVICE FOR REPAIR AND MAINTENANCE**

In accordance with kind instructions from Angela Hatherell of Camborne Contemporary Crafts Hub, we have undertaken a building survey inspection of The Donald Thomas Centre on Chapel Street in Camborne. Our inspection was carried out in accordance with our Standard Terms and Conditions which are appended to this report, Appendix I.

The inspection was undertaken on 8<sup>th</sup> July 2021. The weather conditions at the time of the inspection were clear and dry and this was preceded by a period of warm weather.

A copy of the listing of the property is attached in Appendix II (includes the details for the wayside cross).

In Appendix III please find a roof plan which will be used for cross referencing within the descriptive bulk of the report.

## DESCRIPTION

The building is Grade II\* Listed. Built in 1842 and enlarged in 1852 as a Literary Institute and subsequently a social centre. It is now used as a craft hub by the current tenants.

The building is T shaped with extensions on the north and south sides including an extensive flat roof section on the south side. The main east elevation is dominated by Greek revival style frontage with giant Doric portico with side walls running to the front line distyle in antis. There is a triglyph frieze over the Doric columns running to a mutule pediment.

The Literary Institute was founded in 1829 and the Donald Thomas Centre was built on the site of the first purpose built Methodist chapel in Camborne, which had been on the site since 1806 as a larger premises to house its library and museum.

The two main halls were constructed first in 1842 including the granite north and south wings on the east elevation. This was followed by the north wing infill in 1852 as a lecture hall. The C20 flat roof extension was added to what would have been a courtyard area.

There is a small courtyard to the east of the building surrounded by wrought iron spear railings and housing a wayside cross which is a scheduled ancient monument under designation 1016749.

Wayside crosses were erected during the medieval period between C9 and C15 both as a way of reinforcing and reiterating Christian faith and to help navigation in difficult and unmarked terrain. The cross is unique as being the only example in Cornwall of a cross head displaying both a figure of Christ and projections at the neck. Only a small portion of the upper shaft remains, and the cross was moved from its original location at the intersection of Crane Drive and the Old Churchyard path (SW 64034011) to the Donald Thomas Centre in 1883 to the rear of the institute. It was moved to its present and more accessible location in 1924. The shaft, base and the ground beneath are protected by the scheduled status.

## EXTERNAL CONSTRUCTION AND CONDITION

### Roof Slopes

We would refer you to the roof plan and photographs attached to this report to help in the understanding of the building.

The roof slopes have been re-slatted relatively recently we believe around 15 to 20 years ago.

### Roof R1

This roof sits over the western wing of the building.

The roof covering is of natural Cornish slates. They are sized and have been dry laid. The roof is a hipped roof with black clay angled ridge and hip tiles.

The roof is showing some signs of deflection and bowing, but this appears historic and there is no evidence of damage to walling below or the roof structure.

The slates are in generally good order. There are a few damaged / slipped / missing slates that will need to be attended to with replacements clipped into place. Cornish slates to match should be used.



1. View of R1 from west

There are a number of open joints to ridges and hips that need to be raked out fully and re-pointed in lime to avoid water penetration. The ridge tile to the far south side is sitting proud and would benefit from being re-set to reduce the bedding gap below and prevent water driving up underneath.

There is a simple square section timber fascia running around the roof. This appears in good order but would benefit from re-decoration.



2. View along north elevation with Wall 1 and R1 fascia.

### Roof R2

Main roof to central hall running east west. The roof is gable ended and cuts into the higher R1 at the west end.

Roof is dry laid covered with natural Cornish slates with black clay angled ridge tiles. The slates are generally sound. Some slipped / damaged slates including a number to the pitched valley at the west end. These will require access and addressing accordingly.

Ridges are sound with some minor open joints that would benefit from re-pointing.

The roof to the east end runs to the coping to the pediment. On the north side this runs to a crude mortar fillet which is showing signs of cracking and deterioration. It is unclear if there is lead weathering under. This needs to be accessed, removed and more appropriate lead weathering provided to resist water ingress. There is evidence of water running down into the covered porch below in this location.

On the south side a lead upstand has been provided with a small cover onto the coping. Due to the construction of the pediment coping it is not possible to provide a lead tray. Slightly more cover onto the coping would be beneficial to ensure the weathering here is sound. A similar detail would be required to the north side.





3. Coping on north side of R2



4. R2 from south side

Square fascia as above for R1. Re-decorate.

Pitched valley to R1 leadwork and appears sound.

---

### Roof R3

Natural Cornish slates dry laid fixed to east side and part of west with black clay ridges. West side north of R5 are fibre cement slates. Slating on east side undulating with a number of clipped slates. Slates to west side appear sound.

Flash band has been applied to the north gable on the west side which is a temporary patch repair system – there should be lead weathering detail to this point. On the east side a lead upstand is provided to the coping running over a raised roll to achieve height from the slate line. This is convoluted and unsightly – a secret gutter may well be an option to improve the detailing in this area.

Ridges have open joints and do not sit well against R5 hip.

There is water ingress into the kitchen below from the roof above. Unclear what the cause of this leak is. There are a number of defects as outlined above.

R3 would benefit from being stripped and re-slatted with improved lead weathering to the copings and re-bedding ridge tiles to ensure they are set correctly. Cornish slates should be re-used from the east side and matching slates brought in as required to other areas. Timber repairs may be required to the roof structure as there has inevitably been some deterioration due to the water ingress.

The roof runs to a lead lined gutter on the east side, which is relatively shallow and runs to a tight outlet lead chute on the south side that runs into a downpipe. It should be investigated if widening of the outlet can be achieved to alleviate this potential pinch point for the water disposal.



5. R3 from east



6. Flash band to R3 west side

#### Roof R4

Small gable roof running to granite pediment. Cornish slates dry laid with black clay ridges. Generally the slates are sound with a small number of damaged slates near the wall abutment. Joints to ridges should be raked out and re-pointed.

This runs to the same lead lined gutter detail as described for R3 – the same issues described apply.

There is no lead to the upstand of the copings. A mortar fillet weathers the abutment. This is cracking and will be allowing moisture to track down beyond the slate line, subject to the presence of any lead in this area. This needs to be addressed and improved and the option for a secret gutter in this location should be investigated.

There is no lead evident on the north side against the building. Soakers and cover flashings should be provided to weather the interface between wall and roof subject to wider works on the rendered surface.



7. R4 east side



8. R4 west side

## Roof R5

Part hipped roof over north infill. The north slope is natural slate as elsewhere. Generally sound although a number of slates have been repaired with clipped slates to repair. South slope is man made fibre cement slates clipped. This slate type is inappropriate for a grade II\* listed building and has been provided in this area due to being hidden from view. Generally sound however. Slipped and damaged slates should be attended to.

The south slope runs to a lead valley gutter with three bays against north wall of eastern hall. On the north side the roof runs to a parapet valley gutter. A pitched valley runs between R5 and R3.



9. R5 south side



10. R5 north side plus parapet.

### Flat Roof to South

Built up felt roof. In poor condition with extensive areas of vegetation and ponding. There is water penetration to the skylights and the weathering details to abutments has been crudely done with upstands of felt and bitumen applied (see walling section below).

The whole area is to be re-developed pending funds and permissions. If retained we would recommend completely re-laying the flat roof and providing lead detailing to the perimeter allowing at least 150mm upstand with cover flashing.

The roof feels relatively stable underfoot, but inevitably some damage will have been caused to the supporting timberwork given the amount of moisture that has tracked into the spaces below.

The soil and vent pipes from the lavatories run out at an angle over the flat roof, which is unsightly.



11. Flat roof to south side

### **Parapets and Copings**

Granite copings to the northeast and southeast gable wall pediments and large section copings to the main east front pediment. All from local granite with cornice detailing to the front face.

The copings to the upper roof R2 have open joints and vegetation is visible growing out from between the stones. These open joints have the potential to allow water to track into the core of the wall below and as there is evidence of penetration further down these need to be accessed and re-pointed in lime.

The side copings to the south and north gables also have open joints and would benefit from being raked out fully and re-pointed in lime.

Parapet to north side of R5 masonry lined with lead and rendered with Stucco as outlined below. See comments in walling section and leadwork section below.

## Skylights

UPVC domed skylights to flat roof section – 3no. These are poorly detailed and deteriorating. There is extensive water penetration around the skylights. This whole area is scheduled to be re-developed. If retained for any length of time the skylights need to be completely overhauled with weathering improved.

Perspex lined skylight to south roof of R5. This appears to be well weathered and no water ingress is evident below. The skylight is crude and not in keeping but hidden from view so is not impacting the character of the building.



12. Dome skylights to flat roof



13. Internal water ingress from flat roof skylights.

## **Chimneys and Flues**

The building has four chimneys all in different styles.

### Chimney C1

This chimney sits on the northeast corner of the western roof R1. The chimney is rendered in cement likely on brickwork. The lead flashing has been covered with the cement render which has compromised the weathering. There is evidence of water ingress internally to the ceiling and walls below.

The chimney is leaning to the west and the render is loose and failing in a number areas.

Clearly there was some failure of the original structure and the cement render was applied as a way of addressing this. Unfortunately the impermeable covering has likely exacerbated the problem and cracking and displacement caused by movement and settlement will have resulted in water penetration and likely further accelerated deterioration of the brickwork behind.

It is recommended that the chimney is accessed and taken down and then rebuilt in brick with an appropriate lead tray and detailing to the roof.

Hopefully the original profile of the chimney is visible beneath the render so this can be replicated when re-built.



14. Chimney C1



### Chimney C2

Re-built in brickwork when the roof was repaired – early 2000s. Sound.

### Chimney C3

Capped stone chimney that forms part of the northeast gable pediment. This is sound however it requires re-flaunching in lime to weather the head.

### Chimney C4

Stone chimney as per C3 rendered in cement. There is no visible lead weathering to the base. The rendered surface is unsightly and cracking will allow water to penetrate and be trapped in behind allowing for ingress internally and wetting of the masonry to the chimney and wall below.

It would be beneficial to remove the rendering and allow for exposing the stonework. A degree of stone repair and weathering is likely along with some replacement.



15. Chimney C4

### Flue from South Kitchen

A steel flue has been taken through the walling on the west side of the small southern wing over the flat roof. This has knocked through a very large section of wall and has caused inappropriate damage to the listed fabric. The vent runs out over the flat roof. The end section is heavily rusted. This needs to be removed and the walling repaired behind the felt upstand, which needs to be amended and addressed (see image 12 above).

### Boiler Flue (east side above D3)

Boiler flue through blockwork wall. This is rusting with rust staining running down the wall. This is unsightly and impacts the main elevation. As mentioned this whole area is due to be re-developed subject to funding and permissions (visible on picture 7 above).

### **Lead Work**

Lead valley between western hall and former public conveniences. This runs to a central downpipe. This is on the neighbouring property. Sound.

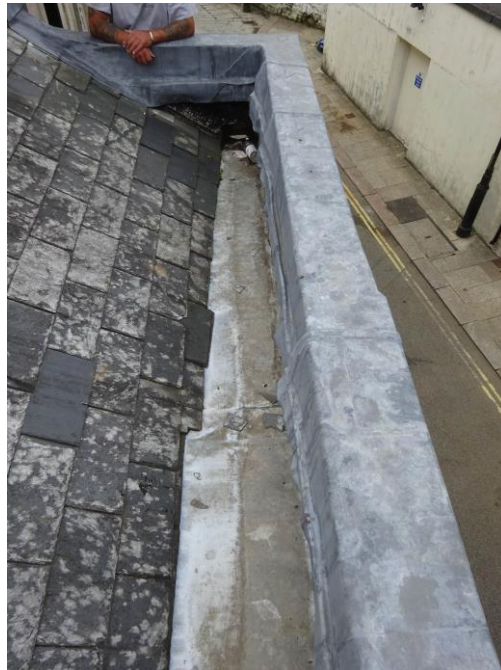
Lead valley between R5 and eastern hall wall. Three bays running to internal downpipe on west side. There is very limited upstand to the windows W15 / W16 and UPVC sections have been added to the cill to build up the levels. There does not appear to be a lead upstand, which is worrying. Unfortunately given the levels the window would need to be significantly altered to accommodate an upstand. There is evidence of rot to the cills to W15 and W16 under the UPVC panels indicating that some revision to the detailing here is required to provide appropriate weathering.



16. Lead valley to R5 south side.

The lead valley has debris and detritus that needs to be cleared to ensure weathering to the roof and abutments is not compromised. Regular access to clear and maintained will need to be undertaken.

R5 north side runs to lead lined parapet. The lead is detailed well and sound. The capping to the parapet needs to be re-dressed in places to ensure capping lead is tightly secured to joints.



17. Parapet leadwork north of R5

### **Rainwater Goods**

The gutters and downpipes are Alumasc cast iron effect aluminium with ogee section gutters and round downpipes.

The gutters are in good order although ogee is relatively undersized compared to half round gutters and cannot deal with a significant amount of rainfall effectively. This is particularly problematic with the extremely heavy downpours

Downpipes are round pipes of the same. There is a missing section on the southwest corner into the Royal Mail car park that needs to be re-fixed.



18. Missing downpipe sections southwest corner.

To the west end of the parapet gutter to north of R5 there is an aluminium hopper that has been crudely fixing into the walling with extensive damage caused to the rendering. The fixing hole is open allowing water to penetrate into the building – there is evidence of dampness below this point. The hopper and downpipe here needs to be re-fixed appropriately with improved discharge from the end of the lead gutter.



19. Hopper to west end of R5



20. DP below hopper as per picture 19.

To the north side of the west lead gutter onto the old public conveniences the discharge is poorly detailed with a small section of UPVC pipe running from the swan neck to the front gutter of the neighbouring property. Relocating this downpipe outside of the line of the lead gutter to discharge to the street would be beneficial and avoid water build up in this pinch point. This was likely adapted when the conversion works to the public lavatories took place.



21. Poor downpipe outlet detail to northwest corner of western hall.

There is an internal downpipe in the southwest corner of the north side infill draining the lead valley south of roof R5. There is no damp staining internally, although the outlet is heavily blocked with debris and detritus that needs to be cleared. The pipe is boxed in plywood – it would be beneficial with further works to expose the pipe to assess the condition. Given the nature of the roof in this area re-directing externally is difficult so the internal downpipe will need to be maintained.

The guttering to the flat roof section both around the perimeter and within the small courtyard is half round UPVC with round UPVC downpipes. The arrangement is not satisfactory and the gutters are holding water and leaking in areas. The detailing needs to be overhauled.

Downpipe outside D3 spilling water from the blocked gutter to the flat roof. The detailing here needs to be improved to avoid water penetration to masonry.

The roof over the pediment to north of western hall has an internal downpipe just inside.

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## **Main Walling**

The walling is a mixture of large cut grey granite on the east frontage with areas of rubble granite and stucco plastering. All areas of walling have been extensively re-pointed or plastered in inappropriate cement which is impermeable and is causing water retention within the core of the walls. The wall sections have been itemised – see the attached plan showing the reference designations.

### Wall 1 (west wall of the western hall)

The west wall of the western block above the lead valley to the former public lavatories is formed from local granite and killas rubble with granite quoins to the corners and granite lintels and surrounds to the window openings.

The stonework appears in sound condition however it has been pointed crudely in cement mortar which has been smeared over stone faces in areas. There are some open joints where the mortar has fallen away and there are large gaps just below the fascia, which may be creating access points for birds and possibly bats.

The wall should be re-pointed in hydraulic lime as per the general comments below.

### Wall 2 (north wall of western hall)

This wall is assumed to be granite / killas as per the west side. It has been stucco rendered. This appears to be a cement based system. Cement was used in C19 so it is conceivable that the rendering is original however the stucco could well have been a C20 replacement. Lab testing would be required to ascertain the age.

The walling on this side includes a brick portico which has also been stucco rendered. This runs to a simple pediment detail.

The quoins to the main walling section are basic flat profile stucco. To the portico the quoins are vermiculated. Cills are rendered in the same.

The wording ‘INSTITUTE LECTURE HALL’ is embedded in the stucco over the portico.

There is cracking evident to the stucco particularly to the corners and edges and vegetation has taken hold in a number of areas. There is evidence internally of water penetration behind the stucco sections and clearly moisture is being trapped behind.

Within the portico are original fixing points from an outer gate. These are rusted and have cracked the rendering and damaged the brickwork behind. These need to be removed carefully and the masonry repaired accordingly.

It is recommended that the stucco is carefully removed to access the masonry behind to the main wall and the portico. Repairs will be needed to the masonry as necessary. A lime based stucco should then be applied using the same detailing. This should be a ‘common stucco’ formed from hydraulic lime, sand and hair. This will be a fully breathable surface allowing moisture to evaporate through the walling externally.

The original detailing should be retained, and the walls should be painted in a breathable mineral based paint.



22. North wall of western hall.

### Wall 3

Stucco render on solid. Unclear if this is stone or brickwork – the wall in this section, which was built up in 1852 is thinner and therefore a solid brick wall is feasible. The walling runs to a parapet with cornice detailing and lead capped parapet wall. This section has vermiculated quoins and surrounds to the windows.

The stucco is cracking in areas and the paint surface is deteriorating. There are open joints and holes particularly behind the downpipe on the west side of this section. The render is hollow when tapped indicating that it has lost adhesion. As above it appears to be a cement based stucco.

The detailing to the base of the wall is poor with a number of open joints and cracks. The cracking and joints will be allowing water to penetrate in behind the render and lead to water penetration into the core and into the building.

Where the outlet to the parapet gutter has been formed the masonry has been cut through poorly leaving sections of render hanging exposed. This should be addressed and re-formed to stabilise and improve.

As above the render should ideally be removed and re-rendered in a lime based stucco as per wall 2 allowing for breathable mineral based paint surface and vermiculated detailing as per existing.

It is likely that repairs to the masonry is required below the render and this should be attended to once the wall surface can be assessed.



23. Wall 3.

Wall 4 (north wall running round to east wall of northeast granite wing)

Cut local granite walling with thin joints. The joints have been re-pointed in inappropriate cement. The north wall runs to a pediment with a triglyph frieze running around both sides.

There is some vegetation against wall 3 that needs to be removed and controlled. Also some green staining due to run off that should be carefully cleaned off.

To the east side the walling runs to a lead lined stone gutter.

Walling sound but should be repointed in a hydraulic lime mortar mix with fine sand. See general comments below.



### Wall 5 (Main east frontage)

Cut granite large section stone walling in Greek revival style with giant Doric portico distyle in antis. This runs to a triglyph frieze over the Doric columns with a mutule pediment. All in local granite. The granite sections have unfortunately been repointed in cement and there a number of open joints that need attending to. There is water penetration within the outer porch that may well have been exacerbated by the open joints.



24. View up towards frieze and pediment.

It was not possible to check the flat section of the frieze, but the area is used extensively by pigeons and a build up of debris and detritus plus a lack of flaunching and open joints to the detailing will allow water to penetrate the wall sections. The pigeon spikes are not functioning properly and steps are in place to renew these.

In addition, Christmas lights have been secured directly to the stone faces, which is inappropriate and has caused damage. The cable runs through the window frame of W7. Fixing into mortar joints is preferable. This can be addressed once full access to this area for re-pointing is undertaken as the lights will need to be removed to accommodate this.

There are large section granite lintels over the columns. The central lintel has been replaced as the stone is much newer and less pollution stained. The side stones are original and showing some signs of delamination, which is likely what occurred to the central lintel.

A close investigation is required but from below the granite looks stable although minor cracking needs to be investigated. Clearly there has been water ingress that has caused this as a result of the abutment detailing to the roof above, the open joints and potentially penetration to the flat section above the frieze.



25. Delaminating lintel over column.

The frontage needs to be raked out and repointed in hydraulic lime mortar with a fine sand as per general comments below. The area above the frieze needs to be accessed and potentially flanchued or clad in lead to allow water to run off and way from the building. Granite should be cleaned down to remove green staining / growth.

The inner ledges of the column heads are being used by pigeons for nesting. Again spikes here need to be renewed.

Inside the outer porch there is what appears to be a hardboard ceiling. This has been heavily affected by water penetration from the east and potentially roof above. There is rot and heavy mould staining. This should be removed and replaced with a stable external quality boarding such as Multiboard or Supalux. The boarding should be checked for asbestos. This is contingent on the pointing and detailing work as described above to the portico and pediment area generally.



26. South column and boarding.



27. View of pediment – note Christmas lights.

The inner wall of the porch is assumed to be rubble stone and has been rendered with roughcast cement render with pebble dashing. There is evidence of water ingress to the walling and ceiling inside the building below the mezzanine floor and it is therefore possible that moisture is being trapped by the render and is tracking internally. Water could quite feasibly be running over the outer porch ceiling and down behind the render and then across the floor joists to the mezzanine.

The rendering is inappropriate and unsightly and should ideally be removed and re-rendered in a breathable lime render mix. The walling below will need to be repaired and re-pointed accordingly. There are large gaps between the roughcast sections and the granite to the portico that should be filled and pointed in when works are undertaken.

The window surrounds and cills are stucco and largely sound. Decoration is required following removal of loose paint.

#### Wall 6 (south wall running round to east wall of southeast granite wing)

Cut local granite walling with thin joints. The joints have been re-pointed in inappropriate cement. The north wall runs to a pediment with a triglyph frieze running around both sides.

To the east side the walling runs to a lead lined stone gutter.

Walling sound although some erosion beyond the mortar joints is evident to the gable masonry. The cement should be raked out and repointed in a hydraulic lime mortar mix with fine sand. See general comments below.

### Wall 7

Blockwork cavity walling to flat roof section rendered in cement. The render is cracked in areas and there are some hollow sections indicating a loss of key. This will need to be patched and repaired. There are plans for redevelopment of this whole area depending on permissions and funding. If retained for any length of time, in addition to patching the cracked areas, good quality exterior emulsion should be applied to help weather the wall effectively.

The wall runs to a simple square section fascia, which is rotted in areas and will need to be repaired / replaced and re-decorated.

### Wall 8

South wall of western hall. This is rubble granite and killas stone and has been repointed in cement as per wall 1 on the west side. There are a number of open joints that will be allowing moisture in and as for other areas the cement will be trapping the moisture within the core of the wall and allowing potential penetration internally.

The upstand from the flat roof that cuts across this wall has been taken up in felt and provided with a mortar fillet. This has been very crudely done. The cement has failed and the upstand is both insufficient in height and poorly dressed. This has resulted in water penetration to the lavatory below and very likely damage to the flat roof timbers and penetration into the western hall east of window W5.

The upstand here needs to be attended to and a correct lead flashing applied – pending any development of the flat roof area.



28. Defective weathering from flat roof to Wall 8.

To the base of the wall the junction between the wall surface and the tarmacadam of the Royal Mail car park is poor with open joints that will be allowing water ingress.

This area needs to be carefully pointed in to ensure water cannot track internally. The provision of a small gravel evaporation zone or gully along the base of the wall would be beneficial to further deal with disposal and directing of rainwater.

The cement pointing generally to this wall should be removed and re-pointed in lime to ensure breathability.

### Wall 9

This section extends along the south elevation at first floor above the flat roof and onto the east face of the western hall due to the detailing applied.

The walling here is assumed to be rubble stonework as per the western hall. It has been rendered with an inappropriate cement render system. This is cracked in multiple areas and will be allowing moisture to enter behind the render and become trapped further deteriorating the wall below.

This has been crudely weathered to the flat roof using bitumen applied from the flat roof up the render surface.

There is evidence of water ingress all along this section of wall internally as a result of trapped moisture.

The rendering should be accessed and carefully removed to all areas. The walling behind should be repaired and re-pointed in lime as below and a three part lime render system applied if required to the outer surface. It may be possible to retain the stone facing as existing, but this would be subject to final assessment and agreement on site once sections have been opened up.

The application of a lime render will enable the wall to breathe effectively allowing trapped moisture to evaporate out.



29. View of south elevation wall.

### Wall 10

This section extends along the north elevation at first floor above R5 and onto the east face of the western hall (north end).

As per wall 9 - the walling here is assumed to be rubble stonework as per the western hall. It has been rendered with an inappropriate cement render system. This is cracked in multiple areas and will be allowing moisture to enter behind the render and become trapped further deteriorating the wall below.

There appears to be limited upstand from the lead valley with a very low profile bellcast bead weathering the base. This should be improved with at least 150mm lead upstand detail.

The rendering should be accessed and carefully removed to all areas. The walling behind should be repaired and re-pointed in lime as below and a three part lime render system applied if required to the outer surface. It may be possible to retain the stone facing as existing, but this would be subject to final assessment and agreement on site once sections have been opened up.

The application of a lime render will enable the wall to breathe effectively allowing trapped moisture to evaporate out.

## Pointing Generally

As outlined the walls have been re-pointed in impermeable cement mortar. As the cement is impermeable it traps moisture within the core of the wall. This then can push internally and lead to areas of damp penetration. In addition, the moisture cannot evaporate through the mortar joints as it is supposed to and therefore moisture tries to evaporate through the stone, which is the weakest element. This causes deterioration and erosion of the stone face which can in time push the face of the stone behind the line of the pointing creating ridges and depressions that exacerbate the water penetration issues.

The lime pointing ideally should be raked out and re-pointed in a breathable lime mortar mix. This will allow the wall to breathe through the mortar joints aiding evaporation of water from the core and protecting the stone by allowing the sacrificial mortar to function in the intended way.

Care needs to be taken when filling gaps at high level to fascias to ensure that bats and birds are not disturbed. An ecologist will need to be engaged to survey the building prior to any works taking place.

## **External Joinery**

### D1

Original timber door lost and replaced with security plain steel double doors. Arched headed. These are showing signs of deterioration and delamination with rust to the hinges, although are still functioning appropriately. They are unsightly and a return to more traditional timber door would be beneficial although security on this elevation is of prime concern. The provision of a gate to the portico as was originally provided may provide increased security here and prevent use of the steps for sitting and congregation.

### D2

Six panel raised and fielded timber replacement doors. Sound. Hinges are stiff and require oiling / adjusting.

### D3

Softwood framed ledged and braced side door. Rot to the base boarding. Relatively poor quality. Requires decoration.

### W1, W2, W3

Timber frame single glazed windows with partial stained glass and top hung hopper lights. Sound – requires decoration.

### W4 and W5

Unfortunately the south windows of the western hall have been replaced with UPVC. These are completely inappropriate for the listed building and should be removed and replaced with an appropriate timber window. The windows in themselves appear sound. They have been provided with mortar fillets to the reveals.



30. South side of western hall showing windows W4 and W5.

### W6

Sliding sash timber frame window to kitchen – sound. Requires re-decoration and re-puttying to panes.

### W7 and W8

Windows either side of main entrance door – they are in the same condition. Discoloured stained single glazed sections within timber framing behind Perspex protection. The windows appear sound.

Perspex needs to be removed and the windows decorated accordingly. New Perspex provided with improved fixings for security.

### W9

Sliding sash timber frame window to kitchen – sound. Requires re-decoration and re-puttying to panes.



### W10

3 section horned sash tripartite window – timber frame with single glazing. Some minor rot to cill but generally sound. Putty has deteriorated. Window paintwork should be scraped back and the window repaired, re-putty to window and then re-decorate.

### W11

Timber frame leaded light window with small stained glass sections behind protective Perspex screen. The cill is heavily rotted with wet rot along with the stiles and window beads holding the Perspex. The Perspex needs to be removed and the window access fully to show the extent of repair required. An inner frame may be present to the leaded light. The window should be repaired and overhauled using like for like timber. Any repairs to the leaded light will need to be undertaken by an expert craftsman.

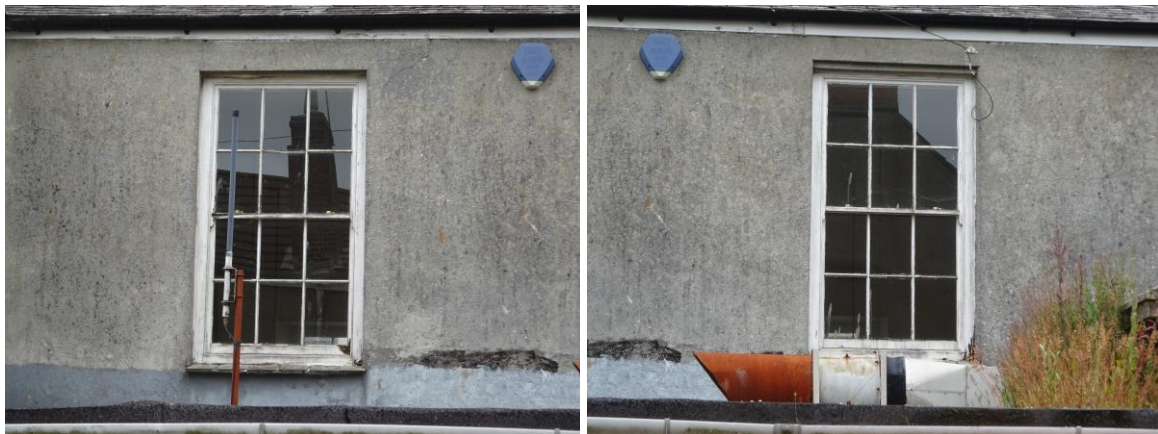
### W12

As per W11 – cill deteriorated even further.

### W13 and W14

Timber frame sliding sash single glazed horned windows. These appear original and are unfortunately in a poor condition with rot to the cills, lower sash and meeting rails. The putty has been lost to areas. The windows will need to be taken out and assessed on a bench. Repairs are always preferred and largely achievable.

The windows have slate clad external cills. The slates are loose and require resetting.



31. Windows 13 and 14.

### W15 and W16

Fixed timber frame single glazed windows – appear to be previously top hung pivot windows. Externally the windows have been provided with UPVC panels to bring the upstand height over the lead valley up. There is evidence of rot under the UPVC. These windows need to be removed and potentially re-modelled to allow sufficient upstand externally. Re-putty and re-decorate.



32. Window W15.

## **Boundaries, Paths and Accessways**

To the north and east sides the building is surrounded by a low plinth wall off the pavement / highway formed from large section granite slabs. The east elevation has wrought iron spear topped railings embedded in the granite and stopped with lead. To the north side the railings only extend to part of the length although the granite still shows the fixing holes and lead from the railings that have been lost. The plinth is in sound condition however there are a number of open joints to both the head and front face of the plinths with some vegetation between the gaps.

Railings are generally sound – scrape back paint apply rust inhibitor and re-decorate.

Wrought iron gate – overhaul, oil and re-decorate. Generally sound condition.

The joints need to be raked out fully removing all cement mortar and re-pointed in a fine mix hydraulic lime mortar.

There are granite steps running up to D1. The mortar is loose or missing and should be raked out and repointed in lime as above.

Either side of the north portico the raised ground is provided with a concrete slab that runs to the building. This has open joints and vegetation is taking hold. The concrete is impermeable and is encouraging water to track tight to the building wall and potentially adding to ingress into the building. These areas would benefit from being broken up and dug down to sound earth before a geotextile material is applied and the area is filled with selected gravel to act as evaporation zones for water.

The east courtyard has small section granite slabs just inside the opening leading to granite steps up to the entrance outer porch. The joints should be raked out, vegetation removed and re-grouted. Joints to steps should be raked out and repointed.

The outer porch has large section granite slabs. These have been grouted in cement. The cement should be removed and re-pointed in lime.

A concrete ramp runs up around the north column. The concrete is friable and uneven. The pitch of the ramp is too steep for current regulations and improving accessibility is a key requirement going forward. The ramp surface requires stabilisation or possibly levels reduced and re-surfaced.

Either side of the central portico section there are concrete paving slabs running south and north. There are some open joints to the slabs and a lot of vegetation that needs to be removed. The joints then need to be re-grouted. Generally the slabs are sound.

The building borders the Royal Mail car park on the south side. This is a tarmac surface.



33. Entrance ramp.

### **Wayside Cross**

The granite wayside cross is located to the northeast corner of the courtyard. The upper shaft is all that remains of the original cross and it sits on part of another cross in a small gravel area. The upper shaft is cemented to the lower base and this has loosened over time with cracking and joints opening up. The cement should be raked out and repointed in lime. This will need Scheduled Monument Consent and close liaison with Historic England. The cross will need to be carefully protected when any works on the building takes place.



34. Wayside cross.

### **Inner Yard (within flat roof area)**

Small yard with dilapidated shed and inner guttering that does not drain effectively. This area is due to be developed. If retained for any length of time attending to the drainage of this area and potentially removing the shed to open up the area up.



35. Shed within inner yard (flat roof section).

## BUILDING INTERIOR

### Roof Voids

Roof voids to R1 and R2 accessed via trap hatches. These show king post roof trusses. Both are sound and have been provided with replacement slating rafters and felt when the roof works were done.

No evidence of water ingress or stress.

No insulation evident.

Lath and plaster ceilings have been lost and replaced with plasterboard.

There is potential to open up the roof void so visible from below with insulation to the slating rafters on the pitch line. Subject to permissions.



36. R2 roof void.



37. R1 roof void

## Eastern Hall

### Ceiling:

Plasterboard and skim. Sound. Decorate.

### Walls:

East wall over mezzanine - Plaster on solid. Condensation mould growth on walls to be cleaned off. Some minor cracking that requires filling. Generally sound.

South side lower wall section provided with head height vertical boarded timber panelling - sound. Upper wall plaster on solid. Damp staining and salting to window reveals. Allow for replastering at least to reveals. Some condensation mould.

North and west walls plaster on solid. Some condensation mould growth – sound.

Condensation mould due to moisture in the masonry and still air due to building being unused.

If breathability is desirable consider re-plastering in lime however the surface of majority of plaster is generally sound and if external breathability is applied there is an argument that the internal surface could be retained with filling of cracks, attention to reveals etc and decoration.

East wall to ground level timber frame moulded screen with single door to each end with glazed panels. Sound – requires decoration.

### Floor:

Mezzanine floor – exposed boarding with timber railing on west side lined with plasterboard and skim – sound.

Carpet on solid to main room floor. Sound.



38. Mezzanine on left and towards W15 and W16



39. Screen to east end.

## **Western Hall**

### Ceiling:

Plasterboard and skim. Mould staining from condensation due to lack of insulation and lack of use of the building and limited ventilation and heating. Black staining has defined position of ceiling ties. Some damp staining to northeast corner due to chimney C1 leaks as described above. Ceiling structure seems sound. Some stain block required if retained (note earlier comments on potential opening up to trusses) prior to redecoration.

### Walls:

Plaster on solid to upper section. Efflorescence (salting) has caused bubbling and deterioration to paint surface and plaster particularly to reveals and to southeast corner where water ingress from the roof upstand to flat roof into accessible lavatory is occurring. Replastering in lime would be beneficial for breathability.

Lower sections provided with vertical panelled boarding. Checks behind will be required to assess condition of timber supports. Generally appear sound although often panelling applied to hide defects.

### Floor:

Parquet on solid. Generally sound. Some damage to ramp by vestibule at north end. Loose blocks will need to be reset. Would benefit from sanding down and re-finishing.

### Other:

Vestibule to north end – timber frame fire door leading to security door. Sound.





40. Ceiling to western hall.

#### **Kitchen Under R4**

##### Ceiling:

Plasterboard and skim – painted. Some minor cracking. Fill and decorate.

##### Walls:

Mix of cement based plaster and tiling. Some damage to walling where tiles have been removed / kitchen units stripped out. Allow for stripping back tiles and replastering in lime where possible subject to final use of room.

##### Floor:

Vinyl sheets on solid.

##### Other:

Vent to old cooker as described above. Should be removed and masonry repaired.

Dilapidated kitchen units should be removed.

Plain fire door damaged and needs replacement.



41. West wall of south kitchen.

### **Front Corridor West of D2**

#### Ceiling:

Hardboard and painted. Dampness to northeast corner potentially due to water tracking behind external rendering and tracking across outer ceiling as described above. Checks should be made for asbestos. Consider replacing with plasterboard and skim unless lath and plaster is insisted upon by Historic England.

#### Walls:

Screen to east side as above – sound. Decorate.

Remaining walls – plaster on solid. Plaster blown over north door lintel and requires patching. Remaining areas sound.

#### Floor:

Carpet on solid. Sound.

#### Other:

Basic plain fire doors. Unfortunately panelled doors lost. These can be improved.



42. Damp stain to east corridor north side.

**Kitchen (below R3):**

Ceiling:

Hardboard and painted. Leak from roof as described above. Ceiling requires replacement – consider plasterboard and skim / lath and plaster depending on Historic England comments. Insulation over following repairs to timber structure beneficial.

Walls:

Plaster on solid painted. Plaster failure on north wall due to water penetration and damp penetrating from above (flash band applied to stop ingress) and through open joints. Strip and re-plaster north wall in lime.



43. North kitchen.

Floor:

Vinyl on solid – sound.

Other:

Room contains good condition kitchen units.

**Infill Hall Under R5**

Ceiling:

Plasterboard and skim to pitch line with exposed trusses. Plasterboard screw fixings blown. Fill and re-decorate. Otherwise sound.

Skylight sound from below.

Walls:

Plaster on solid. Small section of plasterboard to west of window W10. Damp staining below window and to west wall, which relates to the downpipe issues externally. Damage to plaster west of window. Condensation mould staining due to limited thickness of wall. Minor cracking throughout. Strip and re-plaster in lime. Subject to further investigation. Boxing to downpipe as described above.



44. Dampness to infill hall due to defects at downpipe.

Floor:

Carpet on solid.

Other:

Timber inner lintel should be check due to dampness on wall.

Multi fold door to hall on south side – sound.

**Boiler / Utility Room**

Ceiling:

Fibre board. Painted – check for asbestos. Some movement and dropping due to ponding over. Requires replacement following repairs to structure over as required.

Walls:

Cavity blockwork with plaster. Cracking over door to yard where walls intersect – appears historic. Patch repairs and decoration required.

Floor:

Vinyl tiles on solid. Sealed manhole to centre of room.

Other:

Single glazed softwood (off the shelf) window to yard. Heavily rotted. Requires replacement if rooms as existing retained.

Boiler and tank within room. The plant looks aged and will need to be assessed by a GASSAFE contractor.

Door to yard heavily dilapidated with lower half missing and replaced with chipboard. Replace.

Fire door to corridor is missing closer and this is required for fire safety from the boiler room.

**Central Lavatory Block**

Ceiling:

Plasterboard and skim – sound.

Walls:

Plaster on solid with some tiling – sound.

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Floor:

Vinyl on solid – sound.

Other:

Single glazed softwood (off the shelf) window to yard. Heavily rotted. Requires replacement if rooms as existing retained.

**Corridor (running from southeast to southwest corner of south flat roof section)**

Ceiling:

Plasterboard and skim. Failure around skylights where water ingress has damaged the boarding. Heavy condensation mould to remaining areas showing lack of insulation and dampness to substrate. Replacement required following weathering improvements if retained.

Walls:

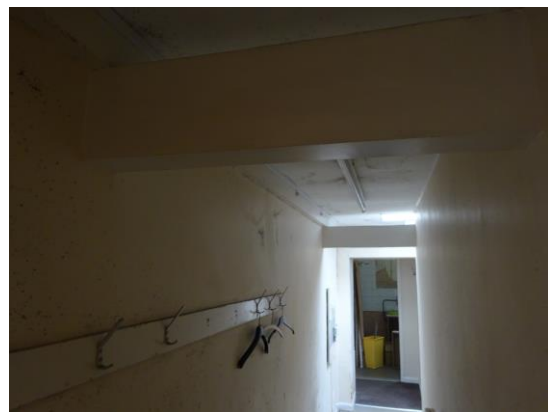
Plaster on solid. Condensation mould growth. Water penetration to north wall against eastern hall due to poor weathering and cement rendering above. Replastering required to damaged sections. Other areas sound.

Floor:

Vinyl on solid.

Other:

Tie lintels (3no) within corridor. Some deterioration to plasterboard boxing due to water ingress from above. Replace boxing as required if retained.



45. Views to corridor particularly ceiling defects.

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## Lavatory to Far Southwest

### Ceiling:

Plasterboard and skim. Condensation mould – otherwise fine.

### Walls:

Plaster on solid with some tiling. Sound.

### Floor:

Vinyl on solid with sealed internal manhole. Sound.

### Other:

Single glazed softwood (off the shelf) window to yard. Heavily rotted. Requires replacement if rooms as existing retained.

## Accessible WC

### Ceiling:

Plasterboard and skim. Damage below the weathering to the western hall as described above. Repairs required to timber structure and replacement ceiling boards if area retained.

### Walls:

Plaster on solid – damage due to water ingress as above. Plaster has blown and is starting to come away from the wall on the north side. Re-plastering required.

### Floor:

Vinyl on solid.



46. Damage to ceiling / wall accessible lavatory north side.

## **SERVICES**

### **Electrics**

The building is connected to the mains electricity supply. It is imperative in any public building to ensure that the electrics are regularly tested and certified by a registered electrician.

The electrician should be engaged to inspect, test and certify all fixed and mobile appliances.

It is particularly important to ensure that all electrics are adequately earthed and bonded. This is of particular importance where electrics are near or in the vicinity of sinks, basins or water supplies.

Trailing leads should be kept to an absolute minimum and should be visually checked on a regular basis to ensure that there is no adverse wear. Appropriate fuse protection should be provided within all plugs. Older light fittings should be checked for earthing.

We would recommend that all public buildings are provided with appropriate emergency escape lighting or that appropriate guidance and stewardship is provided to ensure public safety. Disabled lavatories should ideally have alarm pull cords within them connected to both audible and visual signalling.

We would recommend the installation of hard wired smoke, and where appropriate, carbon monoxide alarms. All call and alarm systems must be regularly tested and serviced.

### **Gas**

All gas appliances, boilers etc, should be regularly tested and certified by a registered heating engineer prior to the start of any heating season. Gas meters and pipes should be regularly checked to ensure that there are no leakages. The servicing engineer should also ensure that there is adequate ventilation and fire security.

The engineer should be GASSAFE registered.

### **Water**

The building is connected to the mains water supply. This was not checked for potability.

### **Heating**

The building has gas central heating with basic radiators throughout. This would benefit from being updated perhaps with low carbon solutions such as heat pumps being installed.



## **Drainage**

All drainage installations should be checked, sluiced through and cleaned on a regular basis. We would recommend that all pipe runs for both foul and surface water systems be inspected with cameras on at least a ten yearly basis to ensure that the pipes have not got displaced due to problems of ground heave, movement, slump or root growth within them. All manhole chambers should be checked to ensure that they are competent and have adequate load bearing capacity in trafficking areas. Internal chambers should be double sealed and the existing manholes may need to be upgraded as the seals look aged.

Adequate soil vent pipes should be provided to ventilate the drainage system and reduce problems of syphonic action. All surface water, drainage systems and gullies should also be regularly checked, the gullies cleared through of organic detritus and debris. The gullies and gratings should be sealed adequately to the adjoining surface areas to ensure that all rainwater discharges into the gully and does not miss the same. Perimeter gullies should be kept clean and free of debris and plant growth. Any cracks should be sealed to ensure that water does not leak around the perimeter of the wall.

Where possible land drainage improvements should be provided and evaporation zones formed around the lower walling to reduce the ground water pressure on the lower structure thus reducing the potential for rising damp. .

## **ENVIRONMENTAL**

### **Ventilation**

As a matter of good practice, all roof voids should be adequately vented. This should be provided in the form of ventilation above any thermal insulation.

A regular problem within buildings is inadequate ventilation of sealed voids, under floor cupboards, sub floor voids and suspended timber daises.

We would strongly recommend that on a regular basis access be provided to these areas to enable checks to be undertaken of the timber structure to ensure that it has not been affected by woodworm, beetle infestation or rot.

Improved ventilation within all sealed or sub floor voids will reduce the problems of high humidity and should be encouraged.

Any redundant flues should be vented internally and externally to reduce the problems of inter flue condensation.

All lavatory facilities should be suitably vented with a forced ventilation system.

### **Damp**

We have highlighted within this report various areas where sections of the building are in need of attention and where this will be increasing the risk of damp within the fabric.

We list below the relevant problems highlighted within the report, and if attended to should, in the long term, help the fabric and environment within the building:

- blocked and overflowing rainwater goods.
- open jointing to coping stones.
- voidage in some of the wall pointing.
- poor pointing to the sealing of, windows and doors.
- inappropriate use of cement mortars.
- poor weathering to roofs at abutments.
- inappropriate use of vapour impermeable paints.
- accumulation of salts to the plaster.
- inadequate passive ventilation.
- intermittent heating.
- poor thermal insulation.
- slipped, missing and damaged slates plus open joints to ridges / hips.

It is important to try and maintain the fabric of the building internally and externally, utilising appropriate vapour permeable materials to reduce the increase of damp, condensation and humidity within the fabric. Use of appropriate, sympathetic and historically appropriate materials is always recommended. Unfortunately, over the years subsequent to the last 60 years, materials have been introduced which are quite appropriate for modern construction techniques, but are not suitable for older and intermittently used historic traditional structures. We would recommend where possible, action to reduce the problems of damp within the building as listed above. We would note, however, that this is not going to result in a rapid cure. Many of the problems raised within the report are associated with both inappropriate materials and workmanship, which will inevitably take a long time to be reversed. Persistence in this area, will, however, prove to be advantageous in the long term.

As noted elsewhere increased high levels of moisture and damp within the building will increase the risk of wet and dry rot infestation to any abutting timbers, whilst also increasing the risk of beetle infestation. This should be avoided if at all possible.

### **Woodworm and Beetle Infestation**

As with any old building of this nature, there is always a risk of beetle infestation. This is most commonly seen in the form of the common furniture beetle. There are, however, further beetles which attack both soft and hardwood timbers. The most well known of these is the death watch beetle.

Any treatment of timber must be undertaken extremely carefully and should, if possible, take into consideration any earlier form of timber treatment or chemical application to ensure that these are compatible and will not produce a toxic chemical cocktail, which could adversely affect users and occupants. It is for this reason that we recommend purely judicious localised treatment of any infestation or activity noted.

We would also note that following any treatment of timber it will take the full life cycle of the beetle before it is killed. Surface timber treatment will only kill the beetle that is already within the affected timber when it exits for breeding purposes through flight holes. You will, therefore, inevitably see the new activity after treatment. This will be in the form of frass or fine sawdust. If this continues for many years after treatment, further advice should be sought.

With changes in climatic conditions, we are beginning to learn of other forms of beetle and weevil infestation of timberwork, some of which can be very aggressive. A close watch should be kept and suitable advice sought.

Within this building there were no obvious signs of infestation but would note the roof voids to R3 and R4 were not accessed and the water ingress to R3 could well be an area of concern.

## **Rot Infestation**

The most common forms of rot infestation within building are either wet or dry rot.

Wet rot infestation is more generally seen on external joinery, window and door frames and in some roof structures. It needs continual moisture to survive. Joinery that is affected is generally treatable, although the affected timber will need to be carefully cut out and splice repaired. This needs to be appropriately done. Wholesale replacement of historic joinery units is not recommended, both for financial and environmental reasons.

Dry rot infestation is more aggressive. This will often occur in concealed, unvented places for many months or years before becoming evident. We will have noted within the bulk of the report, areas that may or may not be at risk of rot infestation, along with recommendations as to how to reduce the risk. Dry rot is both manageable and treatable.

## **Insulation**

The thermal qualities of the building are poor. Improvements to the building should be considered subject to necessary statutory approvals. A review of insulation within any accessible roof voids should be considered, along with the possibility of reducing unnecessary draughts through windows and doors. The extent and use of insulation will also be dependent upon heating regimes.

## **Lightning Conductor**

There is no lightning conductor on the building. We do not consider one necessary in this location.

## **Security and Safety**

We are not aware of any recent problems of vandalism or security beyond those possibly minor incidents noted in the report.

We would, however, note that it is good policy to ensure that the security of the building is regularly reviewed. All items of value within the building should be suitably photographed and records kept in a separate location, away from the building. The items should also be security marked. Valuable metallic items and any lead work on the building should be marked with the Smartwater system as recommended insurance companies. We would note that if lead is not appropriately marked, this will prejudice any possible insurance claim, should problems of theft or vandalism be experienced.

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We would recommend that consideration is given to forms of security lighting, both for safe access and for property protection. Economic forms of video surveillance are also now becoming available. These, if appropriately installed with necessary statutory approvals, can prove beneficial. Discussion with your insurance company should become a regular part of your annual review. This may reduce premiums.

It is recommended that noticeboards carry the post code of the building so that those who are unfamiliar with the property location can advise the emergency services should they be required to attend.

Where there are sudden changes in level, low rails, unprotected steps or areas where the unwary or visitors could easily stumble, suitable warning notices should be provided.

### **Lighting**

The light levels within the property are reasonable, although some of the focus lighting should be improved. Energy consumption of the lighting within the building should be reviewed regularly, as should the carbon footprint pertinent to the occupation of this building.

### **Asbestos**

We saw evidence of potential asbestos containing materials, which should be checked. Asbestos may be found in:

- manmade roof slating or sheets.
- internal thermoplastic floor tiles or cladding.
- softboard ceiling materials.
- electrical or other insulants.

In addition old pipe runs and electric fuseways could contain asbestos. This is not an exhaustive list.

Managers of buildings of this age and nature must ensure that any asbestos that is found is properly recorded, noted and managed or removed.

If an asbestos report has not been commissioned an independent assessment should be carried out. We can offer recommendations if required.

### **Protected Species**

We saw no obvious evidence of bat activity within the building, but would note that the property is likely to provide a suitable habitat for bats to roost, breed and winter in however it's town location may preclude this. Any re-roofing works which may disturb habitat of any protected species should be assessed and if deemed appropriate, Natural England licences will need to be obtained before the work is put in hand. This is a requirement of Planning.

## **Accessibility**

The building does include accessible lavatory facilities.

Appropriate light levels should be provided for those who have visual impairments with appropriate focal lighting for areas of specific importance within the building. Emergency escape lighting should be provided and suitably maintained.

Large print notices should be made available.

Access is possible but difficult and any development that takes place should include improved access provisions.

## SUMMARY

The building is of two parts – the main halls, eastern wings and the infill to the north side are all high-quality elements of this extremely important listed building. The southern flat roof section is a negative component of the building and really detracts from the significance.

There are plans to re-develop the southern area to form additional workshops and any improvement to the dilapidated and unsightly blockwork and flat roof area would be welcomed.

The main roof slopes are in generally good condition. R3 over the existing kitchen is in the worst condition and does require extensive works. Weathering details are poor with limited upstands and protection plus poor detailing copings, which is difficult given their design. The incorporating of secret gutters could be of benefit but would require extensive stripping and adaptation to the roof slopes.

Chimney C1 is in a poor condition and requires re-building along possibly with C4.

The primary issue on the building is the total use of cement based pointing mortars and rendering systems. This is having impact on the stone surfacing and causing water ingress issues. Pointing has been lost to areas and open joints are causing routes for moisture within the walling cores.

Extensive repointing in hydraulic lime is required along with re-rendering in lime both to stucco sections and three-part standard lime rendering to upper floor areas on either side of the eastern hall.

The east portico is the most impressive component of the building and an iconic landmark in the town. The delamination to the side lintels over the columns does need to be monitored but ensuring the weathering improvements above are attended to will mitigate further deterioration. Unfortunately, the rough cast rendering to the walling behind the portico is unwelcome and unsightly and improvements here can only benefit this key aspect of the building.

Improving the breathability of the walls is important and this should certainly be undertaken externally using lime as per above. There is an argument to undertake lime plastering internally although most of the existing plaster is sound and patching could be applied to rectify issues. The cost and potential impact of internal replastering needs to be understood before going forward.

Joinery elements have been neglected but hopefully they are repairable. It can be difficult to obtain consent for replacements of timber windows in grade II\* buildings and repairs are often feasible once proper access to the units is achieved.

Certainly replacement of the UPVC windows is essential as they are detracting from the character and significance of the building.

The building is structurally sound and stable. Lack of maintenance, inappropriate materials and under use have all had impacts and caused defect and deterioration but a scheme of repair and improvement works can easily be undertaken to improve the buildings longevity and usability. Insulation, heating and ventilation are important and any improvement to the flat roofed extension can only be of benefit.



## SUMMARY OF MAJOR WORKS

### Immediate

Reinstate all missing and slipped or damaged slates  
Provide improved weathering to upstand from flat roof to south wall of west hall.  
Clear blocked valley south of R5  
Attend to and repair / overhaul rainwater goods and disposal.  
Remove vegetation from walls.  
Undertake electrical inspection and deal with require repairs.  
Allow for repairs and re-slating to R3 to cure water ingress.

### Within 2 Years

Take down and rebuild chimney C1  
Attend to joinery repairs to rotten windows W11 and W12  
Investigate and improve weathering to W15 and W16.  
Take down south flat roof extension or undertake repairs to existing fabric  
Allow for accessing and dealing with weathering to coping stones – fill joints.  
Access and investigate portico granite lintels  
Allow for pointing to open joints to cut granite walling to east, north and south.  
Access and point / re-set ridges and hips  
Attend to poor detailing on downpipe west of R5 parapet.  
Remove steel flue from south kitchen and make good.  
Improve weathering from flat roof if retained.  
Dress back parapet leadwork capping.

### Within 5 Years

Allow for re-pointing to all areas in lime.  
Allow for stripping cement render and re-render in lime.  
Allow for internal plaster repairs / replacement.  
Replace timber UPVC windows with timber alternatives.  
Point to base of wayside cross  
Attend to external paving, plinth walls and detailing.

### Routine

Reinstate slipped slates and loose tingles  
Test all services  
Clean gutters and downpipes  
Ensure adequate ventilation  
Redecorate  
Remove debris from gullies and plant growth  
Clear paths  
Check security

## **SPECIAL NOTE**

This report does not purport to be a full structural survey but is a report executed following our limited inspection in accordance with our terms and conditions of engagement. We cannot confirm that any area that was not available for inspection within the context of the terms and conditions of engagement is free from defect, rot or deleterious materials.

## **THIRD PARTIES**

This report is confidential and for the sole use of our Client's and their Legal Advisors. No responsibility may be taken for any third party acting upon or relying upon this report. No part of the report may be published without prior consent.

A handwritten signature in black ink, appearing to read 'Hunter', enclosed within a large, loopy oval flourish.

**CHRISTOPHER HUNTER BSc (Hons) MSc CHE MRICS  
CHARTERED BUILDING SURVEYOR**

CGH/8095  
3<sup>rd</sup> August 2021

## APPENDIX 1

### Terms and Conditions

1. The Surveyor will advise the Client as to his opinion of the state of repair and condition of The Building specified by the Client. No specific comment will be made upon the environment, the locality, grounds or Planning.
2. The Surveyor will not advise whether or not the price agreed for the property reflects the current open market value taking into account its repair and condition and market condition generally. A separate independent valuation should be arranged with a specialist valuation surveyor if this is required. The Surveyor will not include this in his fee. Separate terms and conditions should be arranged direct.
3. If a reinstatement valuation for the purpose of insurance is required this can be arranged at an additional fee. This can be discussed with the surveyor.
4. Save as hereinafter provided, the Surveyor will carry out such work as is reasonable in his professional judgement, bearing in mind the limitations of the inspection. This inspection is not a full structural survey, which is now interpreted by the courts as an inspection of every part of the building accessible or otherwise resulting in destructive surveying techniques.
5. The Surveyor will inspect as much of the internal and external surface area as is practicable, but he will be under no obligation to raise fixed floorboards or to inspect those areas of the property that are covered, unexposed or not readily accessible. Inspection will therefore exclude both the roof space, if there is no, or no reasonably accessible roof hatch, and the outer surfaces of the roof if they cannot be readily seen. Similarly, inaccessible flat roofs over 3m above ground level will not be inspected.
6. The Surveyor will not be responsible for arranging the testing of domestic or mains services, unless specifically instructed to do so. Specialist tests can be arranged at an additional fee. Recommendation for testing of Electric & Heating Services may be included in the report and should be completed before a commitment is made to Purchase.
7. Except where the contrary is stated, parts of the structure and of the woodwork which are covered, unexposed or inaccessible, will not be inspected and will be assumed to be sound and in good repair. Where concern is raised over condition we will advise further inspection with builders in attendance. We will not expose foundations.
8. The report will not purport to express an opinion about or to advise upon the condition of uninspected parts and should not be taken as making an implied representation or statement about such parts.
9. The report is provided for the sole use of the named Client and is confidential to the Client and his Legal Advisors. The Surveyor accepts responsibility to the Client alone for the stated purpose that the report will be prepared with the skill, care and diligence reasonably to be expected of a competent Chartered Surveyor, but accepts no responsibility whatsoever to any person other than the Client himself. Any such person relies upon the report at his own risk. Further, neither the whole or any part of the report, or reference thereto may be included in any published Document, Circular or Statement nor published in any way without the Surveyor's written approval as to the form and/or context in which it is to appear.
10. Unless otherwise expressly stated, in making the report the following assumptions will be made. The Surveyors will be under no duty to verify these assumptions:
  - a. That no high alumina cement concrete or calcium chloride additive mastic, or other deleterious material was used in the construction of the property. Further tests may be needed in laboratories at additional costs.
  - b. That the property is not subject to any unusual or especially onerous restrictions, encumbrances or outgoings and that good Title can be shown.
  - c. That the property is unaffected by any matters which would be revealed by a local search and replies to the usual enquiries, or by Statutory Notice, and that neither the property, nor its condition, nor its use, nor its intended use, is or will be unlawful. A separate legal adviser will be engaged by you to advise on these and other legal matters.
  - d. That the inspection of those parts which have not been inspected would neither reveal material defects nor cause the Surveyor to alter his advice materially.
11. The Surveyor will be unable to categorically confirm the absence of known invasive plant species such as Japanese Knotweed within the property.
12. The Client will pay the Surveyor the agreed survey fee upon receipt of the report and any expressly agreed disbursements plus VAT where applicable. Disbursements include travel costs and can include a printed copy for a further charge of £25, if required. Otherwise a digital copy of the report will be provided. Any further inspections, Attendance upon builders, Follow up reports and Advice following scientific laboratory analysis will be charged over and above the agreed report fee detailed below, on a time or fixed fee to be agreed separately if necessary.

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### TERMS AND CONDITIONS OF ENGAGEMENT

1. Fees as agreed between : Date : 1<sup>st</sup> August 2021
2. Client : Camborne Contemporary Crafts Hub
3. Surveyor : Christopher Hunter, Scott & Company, No. 3 Lemon Villas,  
Truro TR1 2NX
4. Building : Donald Thomas Centre
5. Project : Building Inspection Report and further works to be confirmed

Ref : CGH/8095

6. Services as agreed in the quotation email dated 6<sup>th</sup> May 2021
7. Fee Type:

In line with engagement email / letter fees to be based on either an agreed lump sum cost (outlined in section 9 below), based on time charge at current rate or based on a percentage of the project cost if applicable – see section 8.

Current professional charge out rates per hour:

Principal      £140 per hour or quarter hour proportion

8. Fee Structure for a Building Works Project unless otherwise agreed:

Net expenditure below £50,000\* - Time Charge  
Net expenditure above £50,000\* - 10% of Project Cost (unless otherwise agreed)

9. Fee structure for Professional Advice not forming Part of a Building Works Project:

Professional Report/Quinquennial Report	<b>£3,500</b>
Lump sum fee for specific work item / items	£
Lump sum for measured survey (if not part of % charge)	£

Other work outside of the scope of the agreed lump sum including:

Time Charge for ad hoc advice on Phone  
Time Charge for ad hoc advice on Site  
Time charge for ad hoc advice Office Meeting

**10. Disbursements\*:**

Travelling	£0.55p per mile
Printing:	Suppliers' trade account rate x 1.5
Post, Fax & e-mail	@ cost
Subsistence and accommodation only where away from Truro for more than 10 hours	@ cost x 1.25

VAT is charged at the current rate

Accounts are due for settlement within seven days of presentation of the invoice. Credit is not offered. Interest is charged daily on overdue accounts at the rate of 4% above Lloyds Bank base lending rate. Failure to pay an account will entitle us to terminate our agreement.

- 11. Insurance:** Scott & Company under RICS bye laws must maintain Professional Indemnity Insurance to practice along with public liability insurance etc.

A copy of our insurance documents are available on request.

The client must satisfy as to adequacy of insurances for any other specialist consultant and contractor engaged on the project. The surveyor does not purport to be an expert in insurance.

- 12. Further Charges:** The Client shall be responsible for settlement direct of all other professionals and subcontractor costs and fees as separately agreed. The client shall pay all local authority charges.

- 13. Review:** Costs and charge out rates are reviewed annually in April.

- 14. Building Contract and Legal Advice:** The surveyor will recommend an industry standard form of contract. The client shall be fully at liberty to seek independent legal advice, at his own cost, in connection with the contract prior to signing if he deems it necessary. The engagement of a surveyor should not obviate the need for independent legal advice. If, under a JCT Building Contract there is a dispute, this shall be resolved by arbitration unless otherwise agreed.

- 15. Neighbours:** Scott & Company cannot be responsible for neighbours or their actions  
As client and property owner it is your responsibility to ensure that all relevant notifications and consents are obtained from neighbours. It may be necessary to obtain party fence or party wall consents and orders. We would strongly recommend that separate party wall surveyors and legal advice be obtained. This service is not offered by Scott & Company. Any additional costs incurred as a result of neighbourly disputes, delays or misunderstandings or advice provided in connection with neighbourly matters will be charged for separately on a time basis.

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- 16. Less Able Clients:** The professional service that we offer clients concentrates upon dealing with your buildings. Meetings are generally held on site. Should you have special access or visual needs, please let us know so that suitable arrangements can be made. We are always happy to meet at your property, where you may be more comfortable. In addition, we are only too pleased to produce correspondence or reports in large print format or otherwise adapted to suit your needs.
- 17. Finance & Tax:** It may be deemed necessary to obtain separate financial and tax advice in connection with cash flows and funding. This must be obtained by the client at their cost if necessary from their accountant or financial adviser.
- By signing this Agreement the client confirms that he has sufficient funds to pay for services up to tender return. By signing the Building Contract he confirms he has funds to pay the full contract value. By signing this Agreement the client confirms that all funds are from legitimate sources and that the Inland Revenue is, or will be, aware of the funds one way or another.
- 18. Aborted Work:** Where, for any reason, the work is aborted the client shall pay the surveyor for all time expended by all personnel at the rate of £140 per hour for any time subsequent to the last due apportioned fee account, whether raised or not, in accordance with the apportionment detailed herein, where the original fee agreement was based on a percentage charge.
- Where the project has got to the tender stage, the fee shall be at 75% of the full fee set against the tender return or estimated tender return if aborted, before costings have been returned.
- 19. Speculative Work:** Only under special circumstances and with prior written agreement will Scott & Company undertake speculative work. Instructing Scott & Company will ultimately incur a fee for work executed.
- 20. Suspension of Project:** Where the client, for any reason, suspends the project the surveyor may charge for loss of profit at 20% of the estimated remaining fee. The surveyor may also charge for additional time incurred in suspending and subsequently reviving a project.
- 21. Exclusions:** Services that will not be provided include:  
Party Wall Notices  
Structural Engineering  
CDM Coordinating  
Formal Quantity Surveyor Services – Provision of BOQ  
Services engineering design beyond performance requirements  
Chemical or mundic analyses  
Geotechnical or mining surveys  
Fund raising  
Engagement of consultants or contractors directly  
Full time contract supervision

This list is not exhaustive.

- 22. Copyright:** All drawings, designs and specifications, schedules and professional reports are the sole copyright of Scott & Company and must only be copied with prior written consent for whatever purpose.
- 23. Termination of Instructions: Guidance** You may terminate your instructions to us in writing at any time. Termination of a project from either side will follow the RICS for Conditions of Engagement.
- 24. Client Care and Complaints Handling: accommodate** We aim to provide a professional and efficient service to our clients. The stop and start nature of many conservation projects make it difficult to programme. We do everything that we can to this within the context of the service that we offer. We believe that there should be a formal complaint handling procedure. We comply with the RICS standards for complaint handling. Should there be a formal complaint raised by a client, this should be addressed to the Company Administrator at the above address in writing, who will thereafter confirm the procedure and timescale to be adopted.
- 25. Agreement: this** Your continuing instructions subsequent to the despatch and date of letter will amount to your acceptance of these terms of business, personally, or where relevant, in your capacity as our contact with a client body. Where instructions are received on behalf of an organisation we will assume that instructions shall be received via other nominated officers in that organisation and/or their successors for the duration of the project(s) unless otherwise stated in writing.

**26. Strategic Stages for the raising of Fee Accounts for full Contract Administration Services (note points 1-6 constitute the development phase of any project with 7 being the delivery phase).**

- 1. Due no less frequently than quarterly as interims**
- 2. Measured survey of existing completed as a one off**

**Thereafter accounts will be raised against the agreed percentage rates as follows:**

<b>Cumulative</b>	<b>Proportion of</b>	
	<b>Fee</b>	<b>Total</b>
<b>3. Completion of at least one sketch proposal</b>	<b>15%</b>	<b>15%</b>
<b>4. Substantial completion of design: discuss contract procedure</b>	<b>20%</b>	<b>35%</b>
<b>5. Complete working drawings: submit PP, Brgs, LBC</b>	<b>20%</b>	<b>55%</b>
<b>6. Preparation of specification schedules and/or drawings to obtain contractor's costs</b>	<b>20%</b>	<b>75%</b>
<b>7. Contract administration on site – to contract completion )</b>	<b>25%</b>	<b>100%</b>

Up to 75% of the full percentage fee will be raised against the tender return (negotiated or competitive) this will cover the development phase.

The delivery phase will be charged on one of two scenarios – should the final account be higher than the tender then the delivery phase fee will be the full percentage against the FA less previous accounts, including development. Should the final account be less than the tender figure then 25% of the full percentage fee will be raised against the agreed Final Account will be raised – this will raise the overall percentage figure across delivery and development and allows a consideration of the work that was involved for the larger scope at tender stage.

The tender return and agreed Final Account figure will NOT be the same.

Tenders will be issued with a 10% contingency for unforeseen expenditure. This is included to allow for budgeting for problems or changes which may arise once the contract is on site and opening up has commenced. The tender may also include prime cost (PC) or provisional sums (PS) to reflect expenditure on items which are known to be needed, but which at tender stage have not been chosen, or may not be able to be detailed. The contractor does not have a right to expend either the Contingency or the PC/PS items without direction. If these sums of money are not used they will be omitted from the Final Account and thus reflected in the final apportionment of professional fees. Expenditure of these sums would not constitute a “Material” variation to the contract.

Signed .....

Date .....



## **APPENDIX II**

### **LISTINGS**

## **Donald Thomas Centre**

Heritage Category: Listed Building

Grade: II\*

List Entry Number: 1142652

Date first listed: 01-Dec-1951

Date of most recent amendment: 12-Sep-1989

Statutory Address: THE DONALD THOMAS CENTRE, WITH FORECOURT RAILINGS, CHAPEL STREET CAMBORNE CHAPEL STREET SW 64 SW (west side) 10/28 The Donald Thomas Centre, with 1.12.51 forecourt railings (formerly listed as The Literary Institute)

GV II\*

Literary Institute, now social centre. 1842, enlarged 1852; altered. Granite ashlar, slate roof. T-plan formed by hall at right-angles to the street flanked by small wings; plus later extensions to the rear. Greek Revival style. All single storey, but the hall much taller, presenting a giant Doric portico, distyle in antis, with triglyph frieze and mutule pediment, protecting a central doorway with simple pedimented surround and 2 round-headed windows with moulded architraves and keystones, and glazing with coloured margin panes. The wings, at right-angles to the hall, each have clasping corner pilasters, a sashed window with sill-band and shouldered architrave (4- and 12-paned respectively), and entablature with simplified triglyphs and guttae; their gable walls are pedimented, with a triglyph frieze. Forecourt enclosed by simple spear railings with wrought-iron gates. To the rear of the right-hand (north) wing is a former lecture hall, added in 1852, which is stuccoed, with vermiculated quoins and surrounds to openings, a tripartite window to the 1st portion, and a round-headed doorway with a shallow porch, flanked by tall round-headed windows on a high level. Interior altered. History: Camborne Literary Institute founded in 1829, this building erected on site given by Richard Vivyan and formerly occupied by 1st Methodist chapel in Camborne.

Listing NGR: SW6469340052

## **Wayside Cross**

Heritage Category: Scheduled Monument

List Entry Number: 1016749

Date first listed: 22-Mar-1932

Date of most recent amendment: 12-Jul-1999

### Reasons for Designation

Wayside crosses are one of several types of Christian cross erected during the medieval period, mostly from the 9th to 15th centuries AD. In addition to serving the function of reiterating and reinforcing the Christian faith amongst those who passed the cross and of reassuring the traveller, wayside crosses often fulfilled a role as waymarkers, especially in difficult and otherwise unmarked terrain. The crosses might be on regularly used routes linking ordinary settlements or on routes having a more specifically religious function, including those providing access to religious sites for parishioners and funeral processions, or marking long-distance routes frequented on pilgrimages. Over 350 wayside crosses are known nationally, concentrated in south west England throughout Cornwall and on Dartmoor where they form the commonest type of stone cross. A small group also occurs on the North York Moors. Relatively few examples have been recorded elsewhere and these are generally confined to remote moorland locations. Outside Cornwall almost all wayside crosses take the form of a 'Latin' cross, in which the cross-head itself is shaped within the projecting arms of an unenclosed cross. In Cornwall wayside crosses vary considerably in form and decoration. The commonest type includes a round, or 'wheel', head on the faces of which various forms of cross or related designs were carved in relief or incised, the spaces between the cross arms possibly pierced. The design was sometimes supplemented with a relief figure of Christ and the shaft might bear decorative panels and motifs. Less common forms in Cornwall include the 'Latin' cross and, much rarer, the simple slab with a low relief cross on both faces. Rare examples of wheel-head and slab-form crosses also occur within the North York Moors group. Most wayside crosses have either a simple socketed base or show no evidence for a separate base at all. Wayside crosses contribute significantly to our understanding of medieval religious customs and sculptural traditions and to our knowledge of medieval routeways and settlement patterns. All wayside crosses which survive as earth-fast monuments, except those which are extremely damaged and removed from their original locations, are considered worthy of protection.

The medieval wayside cross and cross-base immediately north east of the Donald Thomas Daycare Centre survive reasonably well. The cross is a good example of a wayside cross, probably originally marking a church path. The cross is unique as being the only example in Cornwall of a cross head displaying both a figure of Christ and projections at the neck. These projections are rare and are more usually found in crosses in north Cornwall. Both the removal of the cross and the cross-base to the Literary Institute in the 19th and early 20th centuries, demonstrate well the changing attitudes to religion and their impact on the local landscape since the medieval period.

## Details

The monument includes a medieval wayside cross mounted on a medieval cross-base situated immediately to the north east of the Donald Thomas Daycare Centre. The cross is Listed Grade II. The wayside cross, which is 0.72m high, survives as an upright granite shaft with a round, 'wheel' head, 0.54m wide and 0.2m thick. The principal faces are orientated north-south, and both are decorated: the south face bears a relief Latin cross; the north face has a relief figure of Christ with outstretched arms. There is a narrow bead around the outer edge of both principal faces. Immediately below the head, at the neck, are two rounded projections, one to either side of the shaft; each projects 0.1m beyond the edge of the shaft. On the south face of the shaft is a deeply incised semi-circular groove. Only a small portion of the upper shaft survives, cemented into a cross-base which originally supported another cross. The granite cross-base measures 0.92m east-west by 0.91m north-south and is 0.3m thick. It has rounded sides and resembles a large boulder. It has been suggested that the cross originally marked a path to Camborne church. By 1896 it had been moved to the Literary Institute (now the Donald Thomas Daycare Centre) in Camborne town centre where the historian Langdon recorded it as having been at the rear of the Institute for many years, being but recently moved to the front of the building. The cross was set up in the cross-base in its present location in 1924. The cross-base originally supported Roskear Cross, opposite Tuckingmill Church, 1.25km north east of its present location. The Roskear Cross was removed to a garden in Camborne for many years until it was removed to Crewkerne in Somerset in 1916. The paving slabs around the cross where they fall within its protective margin are excluded from the scheduling, although the ground beneath is included.

**APPENDIX III**

**ROOF PLAN**



Appendix 3 - Cost consultant report



**Pink Pebble**

Construction & Property Consultants



## **ORDER OF COST ESTIMATE**

Donald Thomas Centre  
Create (Cornwall) CIC

Revision -  
October 2021



# Contents

Create CIC | Donald Thomas Centre



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<i>Author</i>	Joanna Godolphin BA(Hons) MSc MRICS	<i>Signed</i>
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Job Nr 21-011

<i>Job Nr</i>	011
<i>Date</i>	11/10/2021
<i>Revision</i>	-

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# Section 1

## Introduction & Summary

# Introduction & Summary

Create CIC | Donald Thomas Centre



## 1. Introduction

1.1 Pink Pebble Consulting have been commissioned to prepare an Order of Cost Estimate in respect of the redevelopment of the Donald Thomas Centre to form the Camborne Contemporary Crafts Hub for Create (Cornwall) CIC, at Chapel Street, Camborne, Cornwall.

1.2 The works comprise the careful restoration of the existing, Grade II\* listed Donald Thomas Centre (former chapel and literary institute), the demolition of poor quality later accommodation, and the construction of a new section of building to form a pottery workshop. The existing building will be converted to provide exhibition space, a cafe, glass workshop, and jewellery making areas, with ancillary office and administration space, totalling approximately 228m<sup>2</sup> accommodation.

Externally there are works to the existing walls, railings and paving, along with sensitive repairs to the Wayside Cross, a Scheduled Monument. Access to the building will be improved, and external space will be provided for external seating for the café.

1.3 An overall costed summary is provided in Section 2.

1.4 The general commentary is provided within this Section.

## 2. Basis of Estimate

2.1 This Estimate has been based on the information listed in Section 4.

## 3. Cost Commentary

3.1 This Estimate is based on a single stage, selective tendering traditional procurement strategy. No allowance has been made for phasing the works, however it is anticipated that some informal phasing in agreement with the appointed contractor will occur, and a discussion surrounding storage of materials, along with site set up and welfare will be needed prior to works commencing.

3.2 We have endeavoured to make reasonable allowances for costs as at Q4 2021, however with the current materials shortages, logistical challenges, and inflation/price increases there are unprecedented levels of uncertainty in the industry.

## 4. Assumptions

4.1 Please refer to Section 3 "Assumptions & Exclusions".

## 5. Exclusions

5.1 Please refer to Section 3 "Assumptions & Exclusions".

# Introduction & Summary

Create CIC | Donald Thomas Centre



## 6. Risk

6.1 Within the construction costs an allowance of 10% has been made for construction risks/contingencies.

6.2 The following have at present been envisaged as possible risks to the project:

- Insufficient funding for scheme envisaged
- Contaminated ground
- Inability to obtain planning permission
- Inability to obtain listed building consent
- Excessively onerous planning or listed building consent permissions
- Limited capacity in existing services installations
- Scope changes
- Archaeological findings
- Encountering unsuitable ground conditions or solid rock
- Underpinning works to the existing building
- Further strengthening works to the existing structure
- Ground investigation and opening up works uncovering severe structural issues not presently envisaged

6.3 These risks are excluded from this Estimate and do not form part of the 10% contingencies described in Section 6.1.

## 7. Classification

7.1 The report is provided for the sole use of the named Client and is confidential to the Client and their Advisors. Pink Pebble Consulting accepts responsibility to the Client alone for the stated purpose that the report will be prepared with the skill, care and diligence reasonably to be expected of a competent Chartered Surveyor, but accepts no responsibility whatsoever to any person other than the Client themselves. Any such person relies upon the report at their own risk. Further, neither the whole or any part of the report, or reference thereto may be included in any published Document, Circular or Statement nor published in any way without the Surveyor's written approval as to the form and/or context in which it is to appear.



# Section 2

## General Summary

# General Summary

Create CIC | Donald Thomas Centre



		£ / m2
0. Facilitating Works	32,500.00	142.54
1. Substructure	4,650.00	20.39
2. Superstructure	99,747.00	437.49
3. Finishes	63,912.00	280.32
4. Fittings, Furnishings & Equipment	36,000.00	157.89
5. Services (all Provisional)	88,700.00	389.04
6. Work to Existing Buildings	186,342.00	817.29
7. External Works	80,310.00	352.24
Main contractor's preliminaries estimate (15%) (rounded)	88,830.00	389.61
Sub-Total (rounded)	680,991.00	2,986.80
Main contractor's overheads and profit estimate (12.5%) (rounded)	96,230.00	422.06
<b>Works Cost Estimate</b>	<b>777,221.00</b>	<b>3,408.86</b>
Project/Design Team Fees Estimate	153,850.00	674.78
Other Development/Project Costs Estimate	<i>Excluded</i>	
<b>Base Cost Estimate</b>	<b>931,071.00</b>	
Risk Allowances Estimate at 15% (rounded)	139,670.00	
Design Development Risks Estimate	<i>Excluded</i>	
Construction Risks Estimate	<i>Excluded</i>	
Employer Change Risks Estimate	<i>Excluded</i>	
Employer Other Risks Estimate	<i>Excluded</i>	
<b>Cost Limit (excluding inflation)</b>	<b>1,070,741.00</b>	
<b>Tender inflation estimate</b>	<b><i>Excluded</i></b>	
	<hr/>	
	1,070,741.00	4,696.23
	<hr/>	

## VAT Assessment

For the purposes of this Order of Cost Estimate, VAT has been excluded from all aspects of the works.

# Building Works

Create CIC | Donald Thomas Centre



	Qty	Rate	Total	Notes
<b><u>0. Facilitating Works</u></b>				
Localised demolition works	1 Item	10,000.00	10,000.00	
Asbestos removal	1 Item	10,000.00	10,000.00	
Strip out existing fixtures, fittings, doors, ceilings, etc. as necessary	1 Item	12,500.00	12,500.00	
Other works TBC	1 Item			
<b><u>1. Substructure</u></b>				
Localised making good of demolished sections, forming base to new pottery room	31 m2	150.00	4,650.00	
<b><u>2. Superstructure</u></b>				
<b>Frame</b>				
<u>No works required</u>				
<b>Upper Floors</b>				
Supply and installation of pre-fabricated, self supporting jewellery work mezzanine structure with access staircase, including balustrades	1 Item	20,000.00	20,000.00	<i>Assumed steel</i>
<b>Roof</b>				
New roof structure to Pottery Room etc., assumed timber	31 m2	110.00	3,410.00	
New roof finishes, Kingspan or similar panel system, including ridges, valleys, and the like	31 m2	60.00	1,860.00	
Rooflights to new roof area	12 nr	3,500.00	42,000.00	
Rigid insulation to new ceiling areas, under/between joists; measured on plan	31 m2	45.00	1,395.00	
Rigid insulation to existing ceiling areas, under/between joists; measured on plan	146 m2	45.00	6,570.00	
Mineral wool insulation to WC area	11 m2	14.00	154.00	<i>(assumed flat ceiling)</i>
Removal and replacement of existing roof lights to Café area	1 nr	2,500.00	2,500.00	
<b>Stairs &amp; Ramps</b>				
No works required <span style="float: right;"><i>included above</i></span>				
<b>External Walls</b>				
Constructing new external wall to pottery workshop and yard, assumed masonry construction, ? rendered and painted?	14 m2	138.00	1,932.00	<i>works to existing external walls included in Works to Existing Building</i>
Works to boundary wall to form new external wall	1 Item	3,000.00	3,000.00	
<b>Windows &amp; External Doors</b>				
Form new door opening to Café area; making good stonework, hardwood/hardwood glazed double doors TBC	1 Item	3,500.00	3,500.00	<i>works to existing windows and doors included in Works to Existing Building</i>
Glazed sliding doors to Pottery Room, approx 3000 long x ? High	1 Item	6,000.00	6,000.00	
<b>Internal Walls &amp; Partitions</b>				

# Building Works

Create CIC | Donald Thomas Centre



	Qty	Rate	Total	Notes
Cavity masonry walls, 100mm leaf dense blockwork; lintels etc and forming openings	49 m2	34.00	1,666.00	
<b>Internal Doors &amp; Screens</b>				
Generally, new internal doors throughout	12 nr	400.00	4,800.00	<i>per leaf</i>
Architrave sets (both sides)	12 nr	80.00	960.00	
<b><u>3. Finishes</u></b>				
<b>Wall Finishes</b>				
Hardwall and skim/render new masonry blockwork	98 m2	36.00	3,528.00	
Mineral based/breathable paint to newly lime plastered or existing plaster walls	566 m2	30.00	16,980.00	
Allowance for hygienic/easy clean wall finishes to Kitchen and wet areas	1 Item	2,500.00	2,500.00	<i>Assumed Altro Whiterock or similar</i>
<b>Floor Finishes</b>				
Strip out existing floor finishes	228 m2	8.00	1,824.00	
Allowance for new floor finishes throughout	228 m2	50.00	11,400.00	<i>Mix of timber and polished concrete</i>
Allowance for works to skirtings, new and repairs to existing	1 Item	4,000.00	4,000.00	
<b>Ceiling Finishes</b>				
Ceilings, making good and decoration, new ceilings to new build section	296 m2	80.00	23,680.00	<i>Approx. Advice to be sought from heritage consultant if plasterboard &amp; skim is possible as per Building Surveyor report or Lath and Plaster required</i>
<b><u>4. Fittings, Furnishings &amp; Equipment</u></b>				
Kitchen for Café	1 Item	3,000.00	3,000.00	
Ceramics kiln fit out	1 Item	1,500.00	1,500.00	<i>Excludes supply of kiln</i>
Glass kiln fit out	1 Item	1,500.00	1,500.00	<i>Excludes supply of kiln</i>
Cold working room fit out	1 Item	1,500.00	1,500.00	<i>Drainage likely required</i>
Remove existing ground floor door and screen and relocate to first floor, including redecoration and making good	1 Item	3,500.00	3,500.00	
Café FF&E	1 Item	10,000.00	10,000.00	
General fitting out	1 Item	15,000.00	15,000.00	<i>Full list to be provided, potters wheels, benches, tables, chairs, exhibition space fitting out, shelving, etc.</i>
<b><u>5. Services (all Provisional)</u></b>				
<b><u>Sanitaryware Supply</u></b>				
WC & wash basin package	2 nr	1,000.00	2,000.00	
Doc M WC pack	1 nr	1,200.00	1,200.00	
<b><u>Mechanical Installations</u></b>				



# Building Works

Create CIC | Donald Thomas Centre



	Qty	Rate	Total	Notes
Generally; heating, ventilation, sprinkler	228 m2	200.00	45,600.00	Possible inclusion of heat recovery system
<u>Electrical Installations</u>				
Generally; lighting, security, fire detection, large and small power	228 m2	160.00	36,480.00	security installation?
<u>Builders Work In Connection</u>				
Generally	228 m2	15.00	3,420.00	

## 6. Works to Existing Building

Scott & Company Building Inspection Report, 3rd August 2021

### Roof R1

Replacement Cornish slates to replace damaged/ slipped or missing slates	1 Item	2,500.00	2,500.00	Preliminaries adjusted to reflect the probability of a
Rake out open joints to ridges and hips, re-point in lime	1 Item	1,500.00	1,500.00	whole building scaffolding
Ridge tile to the far south side to be re-set to reduce bedding gap	1 Item	300.00	300.00	
Redecoration of timber fascia section	1 Item	600.00	600.00	

### Roof R2

Replacement Cornish slates to replace damaged/ slipped or missing slates, particularly to valley section	1 Item	2,500.00	2,500.00	
Rake out open joints to ridges, re-point in lime, minor works	1 Item	1,500.00	1,500.00	
The roof to the east end runs to the coping to the pediment. On the north side this runs to a crude mortar fillet which is showing signs of cracking and deterioration. It is unclear if there is lead weathering under. This needs to be accessed, removed and more appropriate lead weathering provided to resist water ingress. There is evidence of water running down into the covered porch below in this location	1 Item	1,250.00	1,250.00	
On the south side a lead upstand has been provided with a small cover onto the coping. Due to the construction of the pediment coping it is not possible to provide a lead tray. Slightly more cover onto the coping would be beneficial to ensure the weathering here is sound. A similar detail would be required to the north side	2 nr	1,000.00	2,000.00	
Square fascia as above for R1. Redecorate	1 Item	600.00	600.00	

### Roof R3

Flash band has been applied to the north gable on the west side which is a temporary patch repair system – there should be lead weathering detail to this point	1 Item	750.00	750.00	
Secret gutter to improve detailing	1 Item	2,500.00	2,500.00	
Rake out open joints to ridges and hips, re-sit against R5 hip, re-point in lime	1 Item	1,500.00	1,500.00	
Strip roof and re-slate, re-using slates where possible or replacing like for like	16 m2	400.00	6,400.00	
Improve lead weathering detail	1 Item	1,000.00	1,000.00	
Timber repairs to roof structure	1 Item	3,500.00	3,500.00	

# Building Works

Create CIC | Donald Thomas Centre



	Qty	Rate	Total	Notes
Investigate widening lead gutter outlet to alleviate pinch point for water disposal	1 Item	1,500.00	1,500.00	
<u>Roof R4</u>				
Joints to ridges to be raked out and re-pointed	1 Item	750.00	750.00	
Lead gutter detail as described for R3	1 Item	1,500.00	1,500.00	
No lead upstand to the copings, mortar fillet is cracked. Improve detail, possibility for secret gutter	1 Item	1,500.00	1,500.00	
No lead evident to north side against the building. Soakers and cover flashings to be provided to weather interface between wall and roof	1 Item	2,500.00	2,500.00	
<u>Roof R5</u>				
South slope comprises man made fibre cement slates, clipped. Replace with Cornish slates	35 m2	320.00	11,200.00	
<u>Flat Roof to South</u>				
Flat roof improvements pending integration with existing proposals, including SVP's	1 Item			<i>To be demolished</i>
<u>Parapets and copings</u>				
Copings to upper roof R2 have upper joints and vegetation is visible growing out from between the stones. Rake out and repoint in lime	1 Item	3,500.00	3,500.00	
Side copings to south and north gables have open joints. Rake out and repoint in lime	1 Item	2,500.00	2,500.00	
<u>Skylights</u>				
Refurbish existing skylights	1 Item			<i>To be replaced</i>
<u>Chimneys and flues</u>				
Chimney C1 to be taken down, and re-built in brick with appropriate lead tray and detailing to the roof	1 Item	5,000.00	5,000.00	
Chimney C3 to be re-launched in lime	1 Item	500.00	500.00	
Chimney C4 to have render removed to expose stonework. Repair stone and improve weathering details	1 Item	2,500.00	2,500.00	
Flue from South Kitchen - remove steel flue to the west side of the southern wing and repair section of wall	1 Item	500.00	500.00	
Boiler flue - works required dependent on scheme	1 Item			<i>To be replaced</i>
<u>Lead Work</u>				
Evidence of rot to cills to windows W15 and W16 under the uPVC panels indicating that some revision to the detailing here is required to provide appropriate weathering	2 Item	500.00	1,000.00	
Lead valley to R5 shout side has debris and detritus that needs to be cleared to ensure weathering to the roof and abutments is not compromised	1 Item	230.00	230.00	
R5 north parapet capping lead needs to be redressed in places to ensure capping lead is tightly secured to joints	1 Item	4,500.00	4,500.00	
<u>Rainwater Goods</u>				
Possible review of size of rainwater goods as may be undersized	1 Item			<i>TBC</i>
Replacement section of downpipe to SW corner into the Royal Mail carpark	1 Item	120.00	120.00	

# Building Works

Create CIC | Donald Thomas Centre



	Qty	Rate	Total	Notes
Refixing hopper and downpipe to the parapet gutter to the north of roof R5 from the end of the lead gutter	1 Item	85.00	85.00	
Relocating downpipe to the north side of the lead gutter onto the old public conveniences, improving detail	1 Item	250.00	250.00	<i>Might not be possible?</i>
Outlet to internal downpipe in SW corner of north side infill heavily blocked and needs to be cleared; pipe is boxed in plywood; expose pipe to assess condition and arrange ongoing maintenance	1 Item	180.00	180.00	
Guttering to flat roof section to be re-designed and overhauled	1 Item			<i>To be demolished</i>
Downpipe outside D3 spilling water from blocked gutter to the flat roof; detailing to be improved to avoid water penetration	1 Item	120.00	120.00	
<u>Wall 1</u>				
Rake out existing cement pointing	100 m2	8.00	800.00	
Wall to be repointed in hydraulic lime	100 m2	34.00	3,400.00	<i>Approx pending measured survey</i>
<u>Wall 2</u>				
Stucco render to be lab tested to ascertain age	1 Item	500.00	500.00	<i>Quote to be obtained</i>
Removal of gate fixings and render repairs	1 Item	750.00	750.00	
Removal of stucco to access and repair masonry wall	1 Item	2,500.00	2,500.00	
Lime based stucco to be applied with same detailing as existing; stucco formed with hydraulic lime, sand, and hair	56 m2	95.00	5,320.00	<i>Approx pending measured survey</i>
Painting new stucco in breathable, mineral based paint	56 m2	38.00	2,128.00	
<u>Wall 3</u>				
Reform outlet to parapet gutter to stabilise and improve detailing	1 Item	750.00	750.00	
Removal of stucco to access and repair masonry wall	1 Item	2,000.00	2,000.00	
Lime based stucco to be applied with same detailing as existing; stucco formed with hydraulic lime, sand, and hair	40 m2	95.00	3,800.00	<i>Approx pending measured survey</i>
Painting new stucco in breathable, mineral based paint	40 m2	38.00	1,520.00	
<u>Wall 4</u>				
Removal of vegetation and prevention of regrowth	1 Item	850.00	850.00	
Clean wall to remove staining	1 Item	450.00	450.00	
Rake out existing cement pointing	57 m2	8.00	456.00	
Repoint wall in hydraulic lime mortar mix	57 m2	34.00	1,938.00	<i>Approx pending measured survey</i>
<u>Wall 5</u>				
Rake out existing cement pointing	50 m2	8.00	400.00	
Repoint wall in hydraulic lime mortar mix	50 m2	34.00	1,700.00	<i>Approx pending measured survey</i>
Removal of flat section of frieze to remove debris and detritus	1 Item	500.00	500.00	
Works to improve open joints, ? In conjunction with repointing generally	1 Item	750.00	750.00	

# Building Works

Create CIC | Donald Thomas Centre



	Qty	Rate	Total	Notes
Reinstate pigeon spikes	1 Item	250.00	250.00	
Remove Christmas lights	1 Item	220.00	220.00	
Repair window frame of W7 where Christmas lights penetrate window frame	1 Item	120.00	120.00	
Reinstate Christmas lights and fix to an acceptable substrate	1 Item	500.00	500.00	
Investigation of minor cracking of granite	1 Item	250.00	250.00	
Frontage to be raked out and repointed in lime	1 Item	1,500.00	1,500.00	
Area above frieze to be assessed and potentially flanchued or clad in lead to allow water to run off and away from the building	1 Item	1,200.00	1,200.00	
Granite to be cleaned down to remove green staining/growth	1 Item	960.00	960.00	
Inner ledges of the column heads to have pigeon spikes renewed	1 Item	400.00	400.00	
Removal of hardboard ceiling/soffit	1 Item	250.00	250.00	<i>Excl asbestos removal</i>
Reinstatement of soffit using cement board, decoration	1 Item	2,500.00	2,500.00	
Removal of existing render to interior of external porch	1 Item	1,000.00	1,000.00	
Repointing of rubble stone to interior of external porch; filling of larger gaps with either stone or mortar	1 Item	2,000.00	2,000.00	
Removal of loose paint and redecoration of window surrounds	1 Item	800.00	800.00	
<u>Wall 6</u>				
Rake out existing cement pointing	20 m2	8.00	160.00	
Repoint wall in hydraulic lime mortar mix	20 m2	34.00	680.00	
<u>Wall 7</u>				
Remove blown and cracked plaster	1 Item	1,000.00	1,000.00	
Patch and repair plaster	1 Item	1,500.00	1,500.00	
Redecorate	1 Item	850.00	850.00	
Repair and replace sections of fascia as needed	1 Item	450.00	450.00	
<u>Wall 8</u>				
Application of lead flashing to upstand, improve existing works	1 Item	750.00	750.00	
Rake out existing cement pointing	62 m2	8.00	496.00	
Repoint wall in hydraulic lime mortar mix	62 m2	34.00	2,108.00	
Implement gravel evaporation zone or gully to base of wall	1 Item	2,500.00	2,500.00	<i>Possibly not feasible</i>
<u>Wall 9</u>				
Assess and remove existing render finish	31 m2	8.00	248.00	
Repairs to existing walling, repoint in lime	31 m2	34.00	1,054.00	
Application of three coat lime render system	31 m2	95.00	2,945.00	
Decoration	31 m2	38.00	1,178.00	
<u>Wall 10</u>				
Assess and remove existing render finish	18 m2	8.00	144.00	
Repairs to existing walling, repoint in lime	18 m2	34.00	612.00	
Application of three coat lime render system	18 m2	95.00	1,710.00	
Decoration	18 m2	38.00	684.00	
<u>External Joinery - D1</u>				

# Building Works

Create CIC | Donald Thomas Centre



	Qty	Rate	Total	Notes
Possible replacement of existing steel doors with timber, concerns regarding security	1 Item	10,000.00	10,000.00	<i>Consider steel core timber security door?</i>
Provision of a gate to the portico	1 Item	2,500.00	2,500.00	
<u>External Joinery - D2</u>				
Oil and adjust existing door	1 Item	120.00	120.00	
Possible redecoration	1 Item	300.00	300.00	
<u>External Joinery - D3</u>				
Replace existing door with good quality hardwood door	1 Item	2,000.00	2,000.00	<i>Condition report notes poor quality with some rot so likely to be more cost effective to replace. N.B. Current proposals for this to form yard so gate allowed for</i>
<u>External Joinery - W1, W2, W3</u>				
Redecorate windows	3 nr	300.00	900.00	
<u>External Joinery - W4, W5</u>				
Remove existing uPVC windows	2 nr	120.00	240.00	
Replace windows with hardwood timber windows, sliding sash?	2 nr	1,200.00	2,400.00	
<u>External Joinery - W6</u>				
Re-putty glazing	1 nr	350.00	350.00	
Redecorate window	1 nr	300.00	300.00	
<u>External Joinery - W7, W8</u>				
Re-putty glazing	2 nr	350.00	700.00	
Redecorate windows	2 nr	300.00	600.00	
Removal of Perspex	2 nr	60.00	120.00	
New Perspex or similar to be provided for security	2 nr	250.00	500.00	
<u>External Joinery - W9</u>				
Re-putty glazing	1 nr	350.00	350.00	
Redecorate windows	1 nr	300.00	300.00	
<u>External Joinery - W10</u>				
Remove paint	1 nr	200.00	200.00	
Localised timber repairs	1 nr	250.00	250.00	
Re-putty glazing	1 nr	350.00	350.00	
Redecorate windows	1 nr	300.00	300.00	
<u>External Joinery - W11</u>				
Removal of Perspex	1 nr	60.00	60.00	
Remove paint	1 nr	200.00	200.00	
Localised timber repairs	1 nr	250.00	250.00	
Leaded glass repairs as required to be undertaken by specialist	1 nr	800.00	800.00	
Re-putty glazing	1 nr	350.00	350.00	
Redecorate windows	1 nr	300.00	300.00	
<u>External Joinery - W12</u>				
Removal of Perspex	1 nr	60.00	60.00	<i>In worse condition than W11</i>
Remove paint	1 nr	200.00	200.00	
Localised timber repairs	1 nr	300.00	300.00	
Leaded glass repairs as required to be undertaken by specialist	1 nr	1,000.00	1,000.00	

# Building Works

Create CIC | Donald Thomas Centre



	Qty	Rate	Total	Notes
Re-putty glazing	1 nr	350.00	350.00	
Redecorate windows	1 nr	300.00	300.00	
<u>External Joinery - W13, W14</u>				
Removal of window	2 nr	120.00	240.00	
Transport window to joinery workshop for assessment	2 nr	30.00	60.00	
Temporary window required to maintain building protection	2 nr	60.00	120.00	
Repairs to window in joinery workshop	2 nr	400.00	800.00	
Re-putty glazing	2 nr	350.00	700.00	
Redecorate windows	2 nr	300.00	600.00	
Re-fit window	2 nr	160.00	320.00	
Reset slate cills prior to refitting window	2 nr	100.00	200.00	
<u>External Joinery - W15, W16</u>				
Removal of window	2 nr	120.00	240.00	
Transport window to joinery workshop for assessment	2 nr	30.00	60.00	
Temporary window required to maintain building protection	2 nr	60.00	120.00	
Repairs and alterations to window in joinery workshop	2 nr	400.00	800.00	
Re-putty glazing	2 nr	350.00	700.00	
Redecorate windows	2 nr	300.00	600.00	
Re-fit window	2 nr	160.00	320.00	
<u>Roof voids</u>				
Insulate if required	1 Item			See above
<b>Eastern Hall</b>				
<u>Ceiling</u>				
Redecorate plasterboard ceiling	1 Item			See above
<u>Walls</u>				
Clean existing walls from mould growth	1 Item	750.00	750.00	
Repair of minor cracks as necessary	1 Item	500.00	500.00	
Isolated plastering repair works as required	1 Item	750.00	750.00	
Replastering to reveals as required	1 Item	500.00	500.00	
Redecorate east wall screen	1 Item	600.00	600.00	This is being moved?
<u>Floor</u>				
See new work	1 Item			
<b>Western Hall</b>				
<u>Ceiling</u>				
Stain block ceiling	1 Item			Being removed?
Redecorate ceiling	1 Item			
<u>Walls</u>				
Hack off existing plaster	208 m2	6.00	1,248.00	
Replaster walls in lime	208 m2	40.00	8,320.00	
Redecorate in breathable paint	208 m2			Included above
Review condition of timber wall panelling supports, repairs as necessary and make good	1 Item	1,000.00	1,000.00	
<u>Floor</u>				
Repairs to parquet flooring	1 Item	1,000.00	1,000.00	Required?
Sand down and re-finish	1 Item	2,500.00	2,500.00	
<b>Kitchen under R4</b>				
<u>Ceiling</u>				
Repair cracking	1 Item			Included above
Redecorate ceiling	1 Item			

# Building Works

Create CIC | Donald Thomas Centre



	Qty	Rate	Total	Notes
<u>Walls</u>				
Hack off existing plaster	39 m2	6.00	234.00	
Replaster walls in lime	39 m2	40.00	1,560.00	
Redecorate in breathable paint	39 m2			<i>Included above</i>
<u>Other</u>				
Remove vent to cooker and make good wall	1 Item	500.00	500.00	
<b>Front corridor west of D2</b>				
<u>Ceiling</u>				
Replace ceiling with plasterboard and skim	1 Item			<i>Being removed and part of new mezzanine</i>
Possible extra over cost for lath and plaster	1 Item			<i>new mezzanine</i>
Redecorate in breathable paint	1 Item			
<u>Walls</u>				
Decorate screen	1 Item			<i>Included above, being moved</i>
Patch repairs to plaster	1 Item	300.00	300.00	
Redecorate in breathable paint	1 Item			<i>Included above</i>
<b>Kitchen under R3</b>				
<u>Ceiling</u>				
Replace ceiling with plasterboard and skim	1 Item			<i>Included above</i>
Possible extra over cost for lath and plaster	1 Item			
<u>Walls</u>				
Hack off existing plaster	79 m2	6.00	474.00	<i>Includes café</i>
Replaster walls in lime	79 m2	40.00	3,160.00	
Redecorate in breathable paint	79 m2			<i>Included above</i>
<b>Infill Hall under R5</b>				
<u>Ceiling</u>				
Repair cracking	1 Item			<i>Included above</i>
Redecorate ceiling	1 Item			
<u>Walls</u>				
Hack off existing plaster	1 Item			<i>Included above</i>
Replaster walls in lime	1 Item			
Redecorate in breathable paint	1 Item			
<u>Other</u>				
Check timber lintel due to dampness on wall	1 Item	250.00	250.00	
<b>Boiler/Utility Room</b>				
<u>Ceiling</u>				
Test for asbestos	1 Item			<i>Asbestos survey</i>
Replace ceiling with plasterboard and skim	1 Item			
Possible extra over cost for lath and plaster	1 Item			
Redecorate in breathable paint	1 Item			
<u>Walls</u>				
Patch repairs to plaster	1 Item			
Redecorate in breathable paint	1 Item			
<u>Other</u>				
Replacement window	1 Item			<i>Being demolished</i>
Replacement door	1 Item			
Sub-Total for the Works			<u><u>511,851.00</u></u>	

# External Works

Create CIC | Donald Thomas Centre



	Qty	Rate	Total	Notes
<b><u>7. External Works</u></b>				
<u>Drainage</u>				
Foul	228 m2	20.00	4,560.00	<i>Minor alterations likely to be</i>
Surface water	228 m2	25.00	5,700.00	<i>required to both</i>
<u>Site Works</u>				
<u>Scott &amp; Company Building Inspection Report, 3rd August 2021</u>				
Scrape back, apply rust inhibitor and repaint all railings	1 Item	5,000.00	5,000.00	<i>Some possibly to be removed</i>
Overhaul and redecorate existing wrought iron gate	1 Item	1,000.00	1,000.00	
Rake out joints to external walling and repoint	1 Item	7,500.00	7,500.00	
Repairs to steps up to door D1; repointing	1 Item	3,500.00	3,500.00	
Break out existing concrete to area surrounding north portico, excavate, lay geotextile membrane and gravel to area	1 Item	2,500.00	2,500.00	
Rake out pointing, remove vegetation and regrout paved area to the east courtyard	1 Item	2,750.00	2,750.00	
Steps to east courtyard to have joints raked out and repointed	1 Item	1,500.00	1,500.00	
Rake out pointing, remove vegetation and regrout paved area to the outer porch	1 Item	2,500.00	2,500.00	
Break out existing concrete ramp to the north column area; rebuild to meet current access regulations and surface	1 Item	7,500.00	7,500.00	
Remove concrete paving slabs to central portico section; remove vegetation; provide new granite paving slabs and point	1 Item	7,500.00	7,500.00	
Repair works to Wayside Cross; raking out joints and repointing in lime	1 Item	1,500.00	1,500.00	
Protection of Wayside Cross throughout building works	1 Item	750.00	750.00	
<u>Other Works</u>				
Security gate to pottery yard	1 Item	1,500.00	1,500.00	
Making good and repainting wall to Gurneys Lane	1 Item	1,500.00	1,500.00	
Forming new yard outside pottery area	12 m2	150.00	1,800.00	
Generally, forming café seating area etc., fittings and equipment	1 Item	10,000.00	10,000.00	
Community mosaic around front entrance	1 Item	2,500.00	2,500.00	<i>Materials only</i>
Allowance for planting	1 Item	2,500.00	2,500.00	
Display cabinet/Notice board	1 Item	750.00	750.00	
Signage	1 Item	3,500.00	3,500.00	
<u>External Services</u>				
Generally	1 Item	2,500.00	2,500.00	<i>No upgrade works required?</i>
Sub-Total for the Works			<u><u>80,310.00</u></u>	



# Professional Fees & Surveys

Create CIC | Donald Thomas Centre



Comments

## Professional fees

Architect	38,900.00	5% of construction cost
Project Manager	38,900.00	5% of construction cost
Quantity Surveyor	19,500.00	2.5% of construction cost
Principal Designer	7,800.00	1% of construction cost
Structural Engineer	23,400.00	3% of construction cost
Interior Designer	-	Excluded
Planning Consultant	3,000.00	Possibly not required
Disbursements	1,500.00	

133,000.00

## Surveys and fees

Building Survey	3,500.00	Assumed completed
Measured Survey	2,100.00	
Ecological Survey	1,650.00	
Timber survey	1,250.00	
Heritage Consultant	2,000.00	If required
Planning application & listed building consent	2,000.00	Assumed completed
Scheduled Monument Consent	1,500.00	for Wayside Cross
Building Regulations (Approved Inspector)	2,750.00	
Plumbing & heating condition report	800.00	
Electrical installation condition report	800.00	
CCTV drainage survey	750.00	
Asbestos Management Survey	500.00	Check if already in place?
Refurbishment & demolition asbestos survey	1,250.00	

20,850.00

Total Professional Fees & Surveys

153,850.00



# Section 3

## Assumptions & Exclusions

# Assumptions & Exclusions

Create CIC | Donald Thomas Centre



## Assumptions

- 1 The works will be undertaken as a single project, and not phased
- 2 An allowance has been made for demolition and stripping out works
- 3 An allowance has been made for removing possible asbestos from the existing building
- 4 The project will be finished to a 'reasonable' standard
- 5 The works will be completed under a standard JCT Contract
- 6 The works will be tendered selectively, with quality assessment forming part of the tender process
- 7 No details are available for substructure works - these have been assumed.
- 8 Underpinning will not be required to the existing building.

## Exclusions

- 1 Increased costs beyond Q4 2021.
- 2 Finance costs
- 3 Client internal costs/charges other than where listed
- 4 Marketing costs except where listed
- 5 Land and legal searches
- 6 Land purchase costs
- 7 Inflation costs
- 8 Interior Designer
- 9 Value added Tax



# Section 2

## Information Used

# Information Used

## Create CIC | Donald Thomas Centre

Information used in preparing this Order of Cost Estimate



### Architectural

<u>Reference</u>	<u>Title</u>	<u>Revision</u>
	CIC-V5-Elevations	
	CIC-V5-Perspective - Clay Working Room	
	CIC-V5-Perspective - Main Chapel Hall	
	CIC-V5-Site View	
	Sheet-V5_First	
	Sheet-V5-Elevations	
	Sheet-V5-Exhibition Unit	
	Sheet-V5-Ground	
	Sheet-V5-Perspective - Clay Working Room	
	Sheet-V5-Perspective - Main Chapel Hall	
	Sheet-V5-Perspective Office Mezzanine	
	Sheet-V5-Sections	
	Sheet-V5-Site View	
	V5_DONALD_THOMAS_PLANS_1-100_PROPOSED Clay Room	
	V5-Stairs to mezzanine inner hall	

### Structural Engineer

<u>Reference</u>	<u>Title</u>	<u>Revision</u>
	None	

### Services Engineer

<u>Reference</u>	<u>Title</u>	<u>Revision</u>
	None	

### Further Information

- Existing building sketch
- Scott & Co: Donald Thomas Centre - Building Inspection Report as inspected July 2021
- Create CIC Specification Document

Appendix 4 - Camborne Town Investment Plan

# Town Investment Plan



**Camborne**  
TOWN DEAL

# Foreword



Kammbroon (Camborne) is at the centre of Cornwall's industrial heartland. A legacy of its proud history of innovation and engineering and the endeavour of its people. Worldwide recognition of past achievements lives on in the World Heritage Site and the respect that greets the name 'Camborne School of Mines' across the globe.

As you stand at the top of Trelowarren Street it is easy to imagine, or perhaps remember, a town centre full of workers from the nearby Holman Brothers Ltd, and the many nearby mines. Spending hard earned wages with local retailers and manufacturers. Fuelling the commerce and wealth that is reflected in the quality of the historic architecture in the town centre.

But whilst economic fortunes change, leaving challenges in their wake, some things remain constant.

Most importantly, the endeavour and innovation of the town is now fuelling a different sort of global business. The blossoming blue economy in the area demonstrates how new business models and technologies can thrive and grow if the infrastructure and opportunity exist.

That's why Cornwall Council is proud to be working with the Camborne Town Deal partners to support the vision and projects in this Town Investment Plan. It sets out a roadmap to bring housing, workspace, people and opportunity back to the town centre.

By working together 'Camborne will return to being a place where the extraordinary becomes possible'. Projects like the transformation of the underutilised bus station and the creation of a Fibre park will accelerate that journey.

But it's also about doing things differently. This plan has been produced by local people living through the reality of COVID and the unfolding of the climate emergency. No wonder then that both health and wellbeing and sustainability have emerged as key themes. Improved access to cycling, walking and leisure facilities will transform lives as well as the economy. Camborne always has been a place of new ideas and the determination to implement them. As Camborne's most famous resident once said;

"I shall be satisfied by...the laudable pride that I feel in my own breast from having been the instrument of bringing forward new principles and new arrangements of boundless value..."

I look forward to working with the people of Camborne to deliver the deliver this Town Investment Plan.

**Julian German**  
Leader of Cornwall Council

# Raglavar

Yma Kammbroon (Camborne) orth kres krestir diwysyansel Kernow.

Kemmyn a'y istori prout a nowydhys hag ynjynorieth hag attent hy fobel.

Y fyw hwath aswonvos ollvysel a gowlwriansow tremenys yn Tyller Ertach an Bys ha'n revrons yw res dhe'n hanow 'Skol Valweyth Kammbroon' a-dreus an norvys.

Ha hwi ow sevel orth penn Stret Treloworran es yw koncevya, po martesen kovhe, kres an dre leun a weythoryon a Holman Brothers Ltd ha'n lies bal esa yn ogas.

Ow spena aga gober dendilys yn tiwysyk gans daskwerthoryon ha gwrioryon leel.

Ow maga an kenwerth ha rychys yw tastewynnys yn kwalita an bennserneth istorek yn kres an dre.

Mes kyn chanj fortunow erbysek, ow kasa chalenjys a-dhelergh dhedha, nebes traow a worta sad.

Posek dres eghen, yma attent ha nowydhys an dre lemmyn ow maga eghen aral a neges ollvysel.

An erbysiedh glas ow bleujenna y'n ranndir a dhiskwedh fatel yll patronyow negys nowydh ha teknologieth seweni ha tevi mar pe an isframweyth ha chons ena.

Henn yw prag yth yw Konsel Kernow gothus a vos owth oberi gans keskowetha Barga an Dre Gammbroon dhe skoodhya an welesigeth ha ragdresow yn Towl Kevarghow an Dre ma.

Ev a dhisplet mappa fordhow dhe dhri treven, obervaow, tus ha chonsyow dhe'n dre arta.

Der oberi war-barth 'Kammbroon a wra dehweles dhe vos tyller le may teu ha bos possybyl traow marthys.

Ragdresow kepar ha treusfurvyans an gorsav kyttrin is-devnydhys ha gwrians a bark Fiber a wra uskiske an kerdh na.

Mes keffrys yth yw a-dro dhe wul traow yn fordh dhyffrans.

An towl ma re beu askorrys gans tus leel ow pewa dre wirvos COVID ha displegyans a woredhom an hin.

Nyns eus marth, ytho, re omdhiskwedhas ha yeghes ha sewena ha sostenadow avel themys a vri.

Hedhas gwell dhe dhiwrosa, kerdhes ha komodytys termyn syger a wra treusfurvya bewnansow keffrys ha'n erbysiedh.

Re beu Kammbroon pupprys le a dybyansow nowydh ha'n bodh krev dh'aga howlwul.

Dell leveris unweyth triger Kammbroon an moyha aswonys:

"My a vydh kontent gans...an gooth komendyadow a omglewaw y'm brest ow honan dre vos an daffar a avonsya pennrewlys nowydh ha restransow nowydh a dalvosogeth dhibenn..."

Mall yw genev oberi gans pobel Kammbroon dhe gowlwul Towl Kevarghow an Dre ma.

**Julian German**  
Ledyer Konsel Kernow



# Executive Summary

**Camborne is a place where ordinary people once did extraordinary things; a town rich with heritage, history and innovations that influenced the four corners of the globe.**

Camborne played a pivotal role in the industrial revolution and in 1801, Richard Trevithick invented the high pressure steam engine, enabling him to build the world's first passenger road vehicle, the Puffing Devil, in 1801 and the first rail locomotive in 1804. His boiler and engine designs were used to power the world's Industrial and Transport Revolutions.

Camborne is synonymous with mining and engineering. Cornish miners took their skills, expertise and machinery across the world: the skills and expertise were learned at Camborne School of Mines and much of the gear they transported was made at Holman Brothers, which at its height employed around 3,500 people over three sites in Camborne. Recognition of the global impact of Camborne's mining and engineering past led to a UNESCO World Heritage Site designation for the Camborne and Redruth Mining District in 2006.

Camborne today is in the western part of the largest urban and industrial area of Cornwall and is the principal shopping town for the area.

It has excellent transport links, being situated close to the A30 and its main-line railway station is a five-minute walk from the centre of the town.

However, Camborne has suffered significantly over many years from the decline of the traditional mining and engineering sectors and a wide range of data for the town demonstrate the following challenges:

- **Comparatively low income to house affordability ratios**
- **High rates of persistent economic inactivity and worklessness**
- **High proportion of the resident population with low skills and qualifications**
- **Disproportionately high numbers of people in vulnerable groups**
- **Acutely high rates of multiple deprivation**
- **High incidences of poor physical and mental health**
- **A poor quality and neglected built environment, with unattractive areas of the town centre**

Despite these challenges, there is huge pride amongst local people for the town and high levels of volunteering and community engagement.

The Town Deal Board was formed in the spring of 2020, comprising a broad range of people from community, private and public sectors, with one unifying factor: they are all passionate about Camborne's future. The Board agreed its terms of reference, appointed a private sector Chair and a Town Deal Co-ordinator, created a number of Partner Groups to explore specific identified priority areas and set about the co-production of a vision for the town with local people.

Camborne will return to being a place where the extraordinary becomes possible.

An innovative, inspiring and welcoming town, which is generous of spirit and aspirational in its aims, it will be a healthy, clean, proud and loved town that celebrates its rich history, heritage and achievements, which will in turn act as a catalyst for its bold look to the future.

### Ways of treating others

Welcoming, caring, empowering, empathetic, appreciative, humanitarian and generous, with a strong passionate belief in others.

### Ways of working

Grounded, honest and humble, but aspirational, inspiring and innovative, with great inclusive community spirit and civic pride.

The ways of treating others and the ways of working articulated above were agreed and the Board set about developing a collective set of projects which address the challenges identified, whilst delivering against the agreed intervention themes of:

- Local transport
- Digital connectivity
- Urban regeneration, planning and land use
- Arts, culture and heritage
- Skills infrastructure
- Enterprise infrastructure

A pro-forma was developed, along with an agreed project prioritisation tool and a deadline for the receipt of completed pro-formas set. Some 30 project pro-formas were issued and 21 were returned. After a thorough project prioritisation process, with conflicts of interest managed appropriately and giving due consideration to a broad range of criteria, including fit with the Town Deal criteria and a broad range of relevant national, regional and local strategies, value for money and deliverability, the following projects were selected as priorities for inclusion in this document.

These priority projects were then supported to create the level of detail, including on the outputs and outcomes they deliver, contained within the project templates which can be found in Section 2 of this document.

Significant community engagement and co-production has been undertaken throughout the entire process of setting the vision and selecting the appropriate mix of priority projects, including through:

- a Community Survey, which garnered over 900 responses
- the continued delivery of a Stakeholder Engagement Plan, including the development and use of a database of over 150 individuals within key organisations
- an ongoing media relations campaign, utilising a wide variety of social media and regular press releases
- the Deal Makers Lab, which gives individuals who are not the 'usual candidates' opportunities to test the proposals and concepts that are set to transform their community in creative and progressive ways

A continuous evaluation exercise will be conducted across the successful Cornish towns to ensure that public money is well spent and represents value for money, that the intervention is well targeted and effective, that the desired outcomes are achieved and that the learning opportunities are maximised for all stakeholders involved in the delivery of the programme.

Project	Lead Organisation	Capital Cost	Revenue Cost	Total Cost	Town Deal Ask	Match	Intervention Rate
Buzz Station	Cornwall Council	£21,721,000	£256,439	£21,977,439	£17,095,937	£4,881,502	78%
Camborne Contemporary Crafts Hub	Camborne Town Council	£590,000	£8,100	£598,100	£540,000	£58,100	90%
Project A-Void 2 & Prosperity Accelerator Partnership	BID Camborne	£600,000	£158,400	£758,400	£560,000	£198,400	74%
Life Cycle Camborne (Walking & Cycling Network)	Cornwall Council	£2,000,000	£25,500	£2,025,500	£1,700,000	£325,500	84%
Life Cycle Camborne (BID)	BID Camborne	£751,000	£24,765	£775,765	£651,000	£124,765	84%
Fibre Park	Headforwards	£3,833,714	£220,178	£4,053,892	£2,011,857	£2,042,035	50%
Park Gerry Sport and Amenity	Camborne Town Council	£1,067,000	£84,805	£1,151,805	£987,000	£164,805	86%
Food & Farming Enterprise Hub	Duchy College	£550,000	£7,500	£557,500	£500,000	£57,500	90%
Renovating the Recreation Ground	Camborne Rugby Football Club	£1,250,000	£14,250	£1,264,250	£950,000	£314,250	75%
<b>Sub Total</b>		<b>£32,362,714</b>	<b>£799,937</b>	<b>£33,162,691</b>	<b>£24,995,794</b>	<b>£8,166,857</b>	<b>75%</b>
<b>Percentages</b>		<b>98%</b>	<b>2%</b>	<b>100%</b>	<b>75%</b>	<b>25%</b>	

A stone welcome sign for Camborne is the central focus of the left page. The sign is a large, rounded rectangular stone with the words "WELCOME TO CAMBORNE" engraved in a serif font. In the foreground, there are several daffodils in various stages of bloom, some yellow and some white with yellow centers. The background is a soft-focus view of trees and foliage.

WELCOME  
TO  
CAMBORNE

**One.**

# Context Analysis

## Introduction to our Town

Camborne is a place where ordinary people once did extraordinary things; a town rich with heritage, history and innovations that influenced the four corners of the globe.

Camborne played a pivotal role in the industrial revolution and in 1801, Richard Trevithick invented the high pressure steam engine, enabling him to build the world's first passenger road vehicle, the Puffing Devil, in 1801 and the first rail locomotive in 1804. His boiler and engine designs were then used to power the world's Industrial and Transport Revolutions.

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Today, Camborne is in the western part of the largest urban and industrial area of Cornwall and is the principal shopping town for the area. It has excellent transport links, being situated close to the A30 and its main-line railway station is a five-minute walk from the centre of the town.

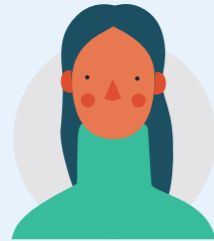
## A Legacy of Innovation

### A pioneering heritage

Recognition of the global impact of Camborne's mining and engineering past led to a UNESCO World Heritage Site designation for the Camborne and Redruth Mining District. It was the home of many of the industry's pioneering engineers and inventors: it was the centre of global manufacture for the miners' safety fuse and the world leading centre of rock-drill manufacture for domestic and foreign mining fields.

“

I grew up in Camborne, my family live there. It's always been a friendly place, the buildings are beautiful, and its history is incredible, especially Camborne School of Mines and Richard Trevithick



Resident of the surrounding villages

### Decline & decay

The area boomed in the early twentieth century, but the decline in mining related industries has led to entrenched economic problems.

“

Camborne has an industrial history with potential for a new industrial future. It's a real town and not a tourist hotspot.



Local long-term resident

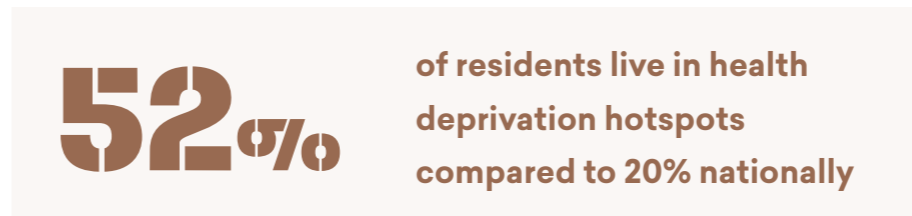
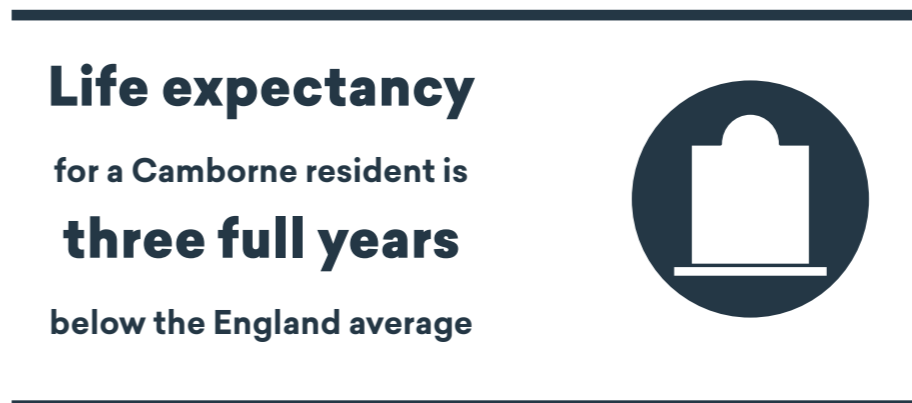
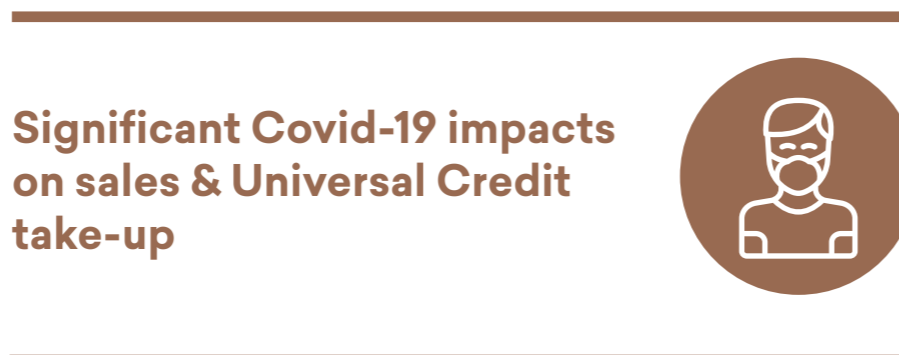
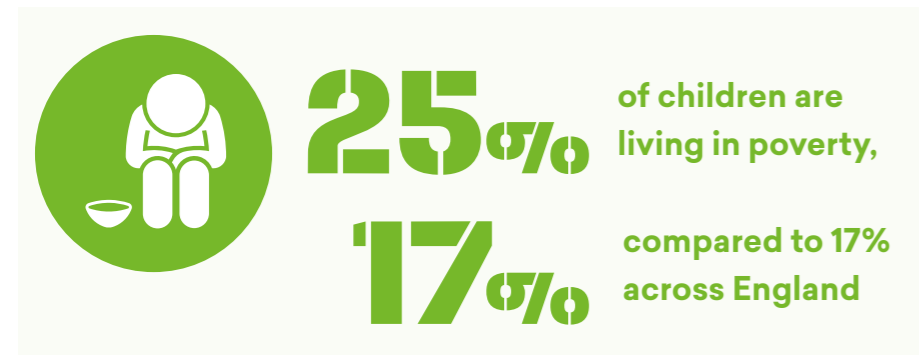
The town continues to function as a substantial residential, shopping, service and administration centre, but it has suffered from a lack of investment and is widely acknowledged as having slipped 'under the radar' compared to its more glamorous seaside neighbours. There is now a pervading sense of past glory and decay which will only continue to grow if not addressed now.

### Camborne today

The town centre is densely populated and comprises a mix of retail, hospitality, office space and services. It is the main provider of services and amenities for the Camborne parish, which is geographically the largest parish in Cornwall. The parish includes six villages and an Area of Outstanding Natural Beauty (AONB) and, unlike most towns in Cornwall, Camborne is relatively flat, which makes it easily accessible for those of all abilities.



# Camborne at a Glance



Twice as many people receive disability related Personal Independence Payments than the national average

More than double the amount of people are on mental health related benefits than the national average



## Camborne's Assets, Strengths, Challenges & Opportunities

# Our Economy

There is evidence of mining activity in Camborne as far back as the fourteenth century, but Camborne was transformed from a village into a hugely successful and thriving town during the mining boom in the late eighteenth and early nineteenth centuries. This period saw the Camborne and Redruth district become the richest mining area in the world.

### Bal Maidens

Women and girls worked in large numbers in surface based manual labouring jobs in the mining industries around Camborne, from the early 18th Century through to the 1920s. At least 55,000 bal maidens were employed in Cornwall and West Devon in the early 19th Century, although actual figures may have been much higher.

### 1800 – 1850. Trevithick and the growth of the mining industry

Richard Trevithick, Camborne's most famous son and the son of a mining captain, was immersed in mining and engineering from an early age.

Having performed poorly in school, he became an early pioneer of steam-powered road and rail transport, building a full-size steam locomotive on a site near the present-day Fore Street in Camborne. On Christmas Eve 1801, Trevithick's Puffing Devil successfully carried six passengers along Fore Street and continued up Camborne Hill.

In 1823, the population of Camborne was around 2,000 and by 1841 it had grown to almost 4,500, with 75 smiths operating in the area and over two thirds of the working population employed in the local mines.

Although significant numbers of ruinous stacks and engine houses remain, they cannot begin to convey the scenes of 150 years ago, when scores of mines transfigured the landscape.

The town continued to expand during the first part of the 19th century, with considerable growth coming not just from mining, but from ancillary businesses: new gasworks opened in 1834, the Hayle Railway was built between 1834 and 1837 and Holman Brothers, which had been formed in 1801 as a mining equipment manufacturer, opened a new foundry in 1839.

Holmans was Cornwall's largest manufacturer of industrial equipment and at its height, it employed around three and a half thousand people over three sites in Camborne.

### 1860 – 1901. Decline of the Cornish mining industry

Competition from foreign mines reduced the price of copper and tin and the local industry went into a general decline from the mid 1860s onwards, with many Cornish miners (known as Cornish Jacks) emigrating to work in mines across the globe. Between 1861 and 1901, around 20% of the Cornish male population migrated abroad.

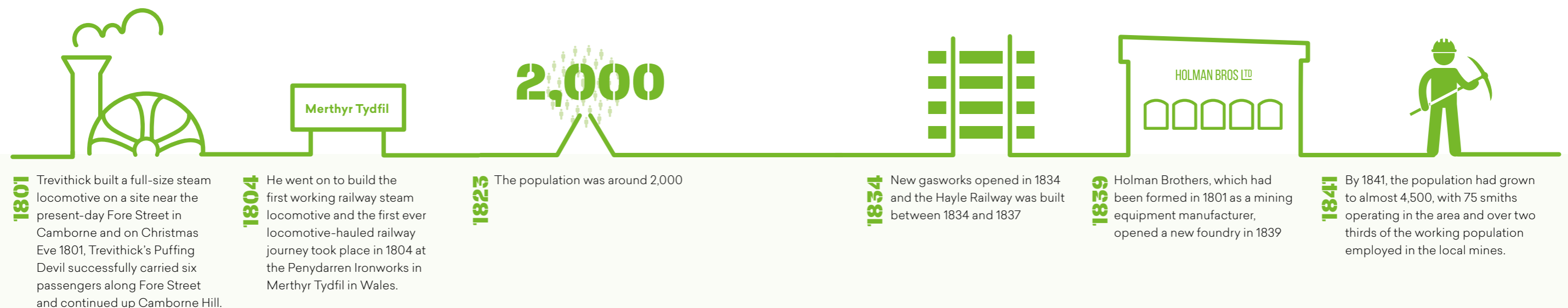
Camborne remains proud of its mining origins and of its industrial heritage and this is reflected in its museums and in the wealth of mining and architectural heritage. Camborne is internationally significant and it forms part of the Cornish Mining UNESCO World Heritage Site.

When Europe's last working tin mine, South Crofty, closed in 1998, leaving a further 200 miners unemployed, the following words were painted on the mine site wall:

**“Cornish lads are fishermen and Cornish lads are miners too, but now the fish and tin are gone, what are Cornish boys to do?”**



### The Early 19th Century



### High levels of economic inactivity

Camborne has low levels of economic activity and high levels of economic inactivity compared to the England average (Table 1).

### Low income levels

Camborne has levels of employment significantly below the national average for managerial and professional occupations and significantly higher levels of employment for skilled trade and elementary occupations (Table 1). In recognition of low wages across Cornwall, Cornwall Council recently agreed to pay a Living Wage Foundation living wage to all.

### Bypassing Camborne

Despite the significant industrial heritage infrastructure in the locale, Camborne has never managed to package this as a destination offer. Visitor numbers and tourism spend are relatively low compared to many other parts of Cornwall.

The significant number of tourists passing along the A30 within around a mile and a half of Camborne Town Centre towards the honeypot tourist destinations of West Cornwall provides real opportunities to grow tourist numbers and spend.



## A Legacy of Specialist Education, Training and Regeneration

### A centre of specialist learning

Camborne School of Mines began life as a full-time mining school in 1888, building an international reputation for mining and a whole host of mining related specialisms, with graduates and postgraduates securing employment in all of the world's major mining areas. The school merged with the University of Exeter in 1993 and it moved out of Camborne to the Tremough Campus in Penryn in 2004, with a resulting loss of students and professional staff to the town.

“

**Camborne needs more places with decent jobs – not minimum wage, but actual jobs.**

Local young woman



**Income levels are low, with the mean salary for 2019 of £25,900, 24.9% below the average for England and the median salary at £20,500, some 29.8% below the England average (Table 7).**

### Brownfield regeneration

Significant regeneration activity has taken place over a number of years, much of it utilising Cornwall's EU Funding Programmes and much through the auspices of the Camborne Pool Redruth Urban Regeneration Company (CPR Regeneration) which operated from 2002 and 2012, working with private and public sector organisations to improve the quality of the built environment and to secure new employment opportunities for the area. The bulk of this work focused on the industrial brownfield sites, and a number of local infrastructure schemes were delivered to enable development. However, this work had very little direct impact on the centre of Camborne.



**Camborne Science and International Academy is promoted as Cornwall's most consistently high-performing secondary school.**

### Business support centres

The Pool Innovation Centre, led by Cornwall Council and operated by the University of Plymouth, opened in 2010 and provides tailored business support to around 70 businesses.

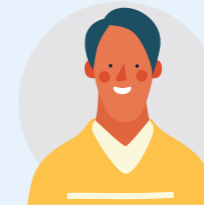
### An emerging software development cluster

Despite modest figures in the 2011 census (Table 2) and even in the 2018 Business Register and Employment Survey (Table 3), the town has a burgeoning software development cluster located on the Cornwall College Campus site. This is one of the fastest growing technology clusters in the UK, with dozens of well paid jobs created each year, in the blue economy.

“

**Camborne has plenty of potential to regain its former success as a thriving town. We have a heritage to be proud of and a number of interesting historic building which are worth preserving.**

Local resident



### Vocational specialisms

The Town Deal area also includes the Cornwall College Camborne campus, which provides a wide range of vocational courses to around 15,000 students and Duchy College Rosewarne, a land based specialist college and part of the Cornwall College group, located on a working farm, spread over around 47 hectares.

### Key challenges



- Low income levels
- High levels of economic inactivity
- Low levels of tourism
- Money bleeding out of the area

### Key assets & strengths



- A heritage to be proud of
- A legacy of specialist education and training
- Significant regeneration groundwork
- Culture of innovation
- Existence of Pool Innovation Centre
- Existence of Cornwall College Campus and Duchy College Campus, Rosewarne
- Emerging software development cluster





# Our People

## Demographics

Camborne has a population of 22,535 people, with lower than average levels of people of working age and relatively high levels of people aged 65 and over (Table 15).

There are high levels of economic inactivity and correspondingly low levels of people who are economically active (Table 1).

The numbers of people with no qualifications are significantly higher than the England average and those with Level 4 plus qualifications are significantly lower (Table 20).

## Vulnerable Groups

People in Camborne are much more likely to belong to identifiable vulnerable groups than residents of other towns. These groups include high levels of unemployment and benefit claimants, high numbers of people classified as disabled, large numbers living in deprived neighbourhoods, large numbers of pensioners and significant numbers of children living in difficult circumstances (Tables 17 & 18).

## Crime Levels

Overall crime levels are in line with the national average, with relatively low incidences of burglaries and vehicle crime, but much higher than national average incidences of violent crime and anti-social behaviour (Table 16).

## Deprivation

Many people of Camborne are living in areas with high levels of multiple deprivation. Of the 13 Lower Super Output Areas covering the area, four are in the most deprived decile and a further three are in the second most deprived decile. All 13 LSOAs are in the four most deprived deciles (Table 9).

## Community Spirit

Despite all of the issues identified above there is a huge pride, resilience and a real sense of identity amongst Camborne residents. Relatively high numbers of people are satisfied with their local area as a place to live and feel they belong in their neighbourhood (Table 20).

There are also low levels of churn on house movements, with the people of Camborne generally choosing to stay put (Table 15).

Furthermore, the levels of volunteering, participation in decision-making and active involvement in charities are all exceptionally high, compared to the England average equivalents (Table 20).

In essence, the people of Camborne are proud of their town, but recognise that there is much to be done to make it an even better place to live. They are equipped and enthusiastic to make the most of the Towns Fund landmark investment.

### Extraordinary People of Camborne

#### Lady Frances Bassett (1781-1855)

Lived at Tehidy House in the 1800s, she was the lady in white stockings in the Cornish folk song Going Up Camborne Hill Coming Down.



Camborne has a population of **22,535** people

As the conclusion of the Community Engagement Survey states:

**Camborne residents have a strong sense of identity about the town – it is seen as a true Cornish town, with an important cultural heritage and history. There is a sense of community about the people and that shared community is very important to the residents.**

## Key challenges



- Low skills levels
- High levels of people in vulnerable groups
- Very high levels of multiple deprivation

## Key assets & strengths



- Strong sense of community spirit and identity
- Camborne Science and International Academy Centre of Excellence for gifted and talented

# Our Strategic Infrastructure

Despite its peripheral location in West Cornwall, Camborne is well connected. The main line railway station is very close to the town centre and has frequent connections to Penzance in the west and to Plymouth in the east, with regular direct trains to Exeter, Bristol and London, with the fastest trains to the capital taking a little under five hours.

## Transport Links

Camborne is well connected by bus to Truro, Penzance and a variety of other destinations across Cornwall, although the frequency of service to some destinations, particularly the surrounding villages and rural areas, has reduced over recent years.

The town centre lies a little under two miles from the A30, the main trunk road connecting West Cornwall to the rest of the South West region. Driving times from Camborne to the M5 are around 1 hour 45 minutes, with Bristol around 3 hours 45 minutes and London around 5 hrs 45 minutes away by car.

There are frequent flights to London Heathrow and to a variety of other domestic and European airports from Newquay Airport, which is around 45 minutes away by road.

## Location serves residents well

The Community Engagement Survey identified that most Camborne residents feel that the town is well connected, with easy access both to the A30 and the coast regularly cited as positives for the town.

## Cycle and walking routes

There is also a good network of walking and cycle paths around Camborne, but there is significant scope to improve the linkages from this network to the town centre.

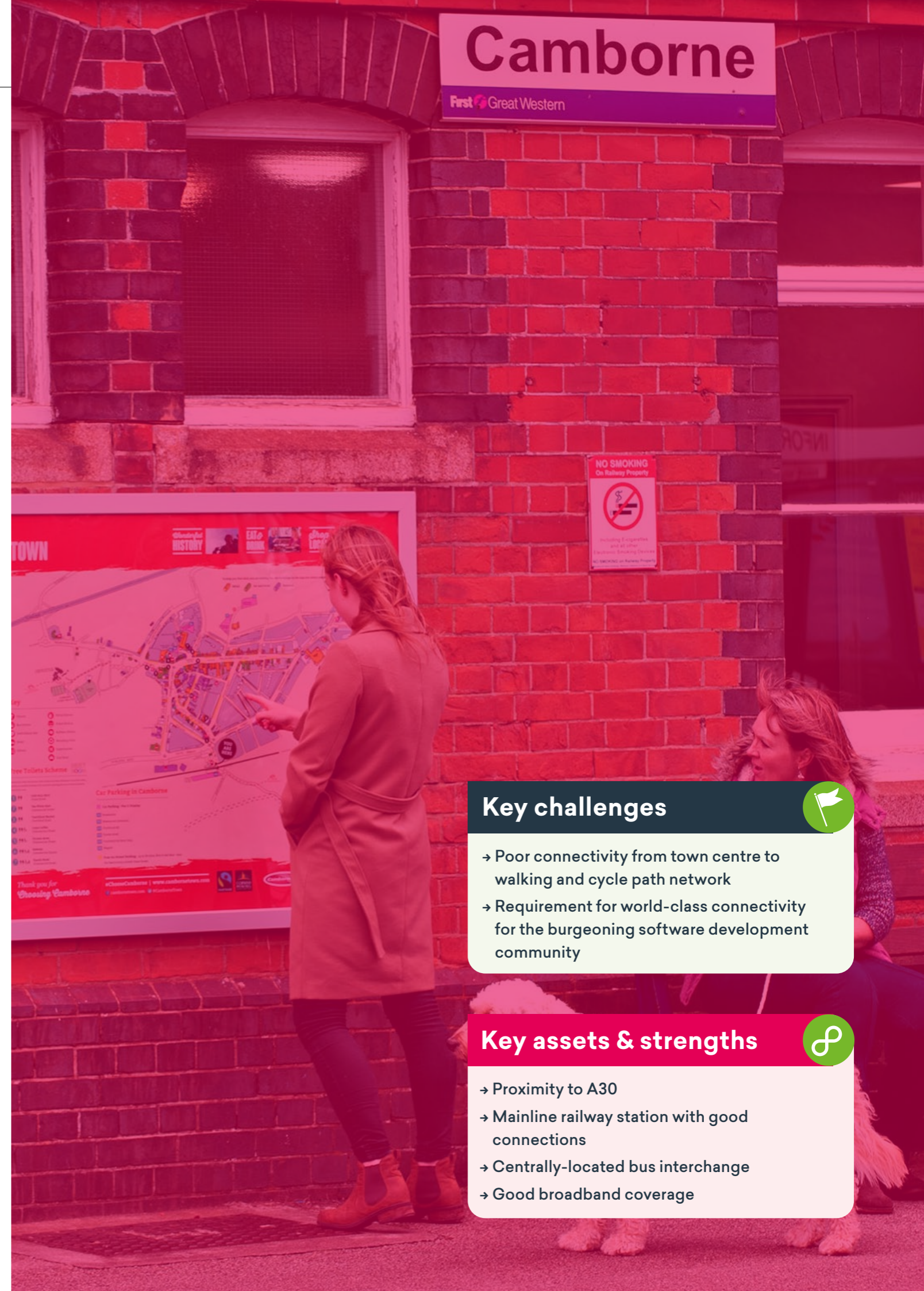
## Digital connectivity

Broadband availability in the town is good, due primarily to the existence of EU-funded digital connectivity initiatives over recent years. The area's growing software development sector is looking to benefit from the world-class connectivity available on the Cornwall College campus site.

### Extraordinary People of Camborne

#### William Bickford 1774 – 1834

Invented the Safety Fuse, saving a huge number of lives and established a factory at Tuckingmill. Bickford obtained his patent in September 1831. The production of the safety fuse in Cornwall increased dramatically as more mines adopted it when blasting underground.



### Key challenges

- Poor connectivity from town centre to walking and cycle path network
- Requirement for world-class connectivity for the burgeoning software development community

### Key assets & strengths

- Proximity to A30
- Mainline railway station with good connections
- Centrally-located bus interchange
- Good broadband coverage

# Our Health

There are significant opportunities to improve the health of Camborne residents. Life expectancy for both females and males is below the national average, more underweight babies are born, hospital admissions are significantly higher and there are high incidences of cancer, coronary heart disease, respiratory disease and strokes (Table 19).

## Personal Independence Payments

The very high prevalence of Personal Independence Payments, relative to the England average, is an indicator of the very high numbers of disabled people in Camborne (Table 17).

## Mental Health

Mental health is a particular issue, with high levels of depression and high numbers of recipients of mental health-related benefits (Tables 17, 18 and 19).

Mental health is a key determinant of physical health specifically of health related behaviours. Consequently, mental well-being is fundamental to all we propose. A key objective is to create a flourishing Camborne, with people experiencing positive psychological functioning and positive social functioning most of the time.

**Extraordinary People of Camborne**

**Elizabeth Holman**  
Turned her home, Tregenna, into a Camborne nursing home for wounded soldiers during World War One after her son John lost his life. This remains a care home to the current day.

## Lifestyle

There is evidence that lifestyle is a factor, with lower than average numbers of people eating healthily and relatively high overall levels of smoking and obesity amongst children (Table 19).

Significant investment is planned for the creation of a new Camborne and Redruth Community Hospital.

**Key challenges**

- Significant incidence of poor physical health
- Significant incidence of poor mental health

**Key assets & strengths**

- New community hospital planned
- An emerging fitness economy with small fitness and yoga studios appearing across the area in recent years

Life expectancy for both females and males is three years **below** the national average



# Our Housing

## Housing prices

The average house price in Camborne, at £187,176 is significantly below the average house price for England at £304,681 (Table 16). Median house prices vary from £122,000 to £217,500 across the different LSOAs of the town (Table 10).

## Household income

However, with low income levels, the average household income after housing costs at £23,485 is well below the national average figure at £28,248. In short, although house prices are relatively low, housing is still very expensive, relative to income levels (Table 20).

## Fuel poverty

Around 13% of households are living in fuel poverty, compared to just 10% nationally (Table 20).

## Housing stock

The housing stock is old, with 34.5% of houses built before 1900, compared to only 15.6% in England overall. Also, 7.6% of houses have no central heating, compared to just 2.7% nationally (Table 16).

Although house prices are relatively low  
**housing**  
is still very expensive,  
relative to income levels



The housing stock is old, with  
**34.5%**  
of houses built before 1900

### Key challenges

- Older housing stock with low levels of central heating, potentially contributing to health issues
- Low affordability of housing for local people

### Key assets & strengths

- Relatively inexpensive housing compared to some parts of Cornwall

# Our Culture and Sport Offer



With its rich industrial track record for innovation, Camborne is known as the “Cradle of Locomotion”.

The town’s early prosperity was built on its pivotal role as a centre for mining and engineering and its heritage and culture are strongly anchored in its industrial history.

## Heartlands

The Heartlands World Heritage site in Pool was born out of the former mining complex at Robinson’s Shaft, inside the Cornwall and West Devon Mining Landscape, which was granted UNESCO World Heritage Site status in 2006.

The 19 acre mixed use development incorporates housing, workspace and a free visitor attraction, offering gardens, a visitor centre, a museum, children’s play facilities, a café and a venue for conferences, weddings and events. It transformed a derelict site into a public facility and has acted as a catalyst for further development of the area.

This represented a turning point of this post-industrial area on the periphery of the town. The attraction, funded in partnership between the National Lottery and regional government, opened in 2012 and it now provides an official gateway site to other mining attractions in the area, including East Pool Mine.

## Community youth groups

The TR14ers, a youth led community dance charity, was formed by local young people, with the support of the Camborne Neighbourhood Police Team, in 2005. It has delivered transformative outcomes in terms of health and educational attainment and has helped to reduce anti-social behaviour since its inception. It has benefited over 2,000 young people and it now operates as a self-managing charity.

## Regional theatre

Rogue Theatre is a national touring theatre company based in the heart of Tehidy Woods on the edges of Camborne. This renowned team create immersive, highly visual outdoor theatre, widely enjoyed by residents of Camborne and further afield.



## East Pool Mine

East Pool Mine is a National Trust owned industrial heritage discovery centre, containing engine houses and two preserved Cornish beam engines, which were originally introduced by Richard Trevithick.



## Sport



Camborne offers a number of local sports clubs, including a thriving, well established rugby club with a number of adult and junior teams, a cricket club and a popular local Bowls Club. Carn Brea Leisure Centre, is a vibrant multi-sport leisure centre which is run as an independent Charitable Trust.

## Art galleries

A number of successful projects are now embedded in the local cultural landscape, including the Pool School Gallery, which operates as a Community Interest Company and has created a culturally significant art collection in the old caretaker’s annexe attached to one of the main local secondary schools, bringing culture to young people and making it more accessible to harder to reach communities.

## Extraordinary People of Camborne

### Lilla Miller

Known as the “Queen of Camborne” Miss Miller lived in Camborne all her life and entertained audiences for decades with her gossipy character Mrs Rosewarne.



## Music

Camborne Town Band is one of Cornwall’s most famous and successful brass bands, with an associated Camborne Youth Band, and the award winning Holman Climax Male Voice Choir has been based in the town since 1940.

## Trevithick Day

The first Camborne Trevithick Day took place in 1984 and it quickly became an important part of the Cornish calendar, attracting 25,000 to 30,000 visitors to this free one day event each April, celebrating Camborne's industrial heritage and its links with Richard Trevithick.

A carnival atmosphere illuminates Camborne, as its main streets are closed to traffic for the day and steam engines, choirs, brass bands, entertainers, bal maidens and street stalls take over the town. Processional dances traverse the town, with Camborne Town Band playing local favourites, such as "Camborne Hill" and the traditional "Camborne Worthies" march.

Trevithick Day captures the essence of Camborne and it provides a model for the creation of events celebrating the place, appealing to local and visitors alike.

The 2020 physical event was cancelled due to the COVID-19 global pandemic and was moved to a virtual digital event this year. The festival will not return in 2021 and will be back on calendars once coronavirus restrictions are lifted.

## Other community events

Camborne also hosts a well-reputed and frequented music festival and an agricultural show, both of which take place annually.

### Extraordinary People of Camborne

#### Richard Trevithick (1771–1833)

Camborne played a pivotal role in the development of the industrial world when Richard Trevithick invented the high pressure steam engine. This remarkable innovation accelerated the pace of Britain's Industrial Revolution and led him to build the first Road Locomotive (The Puffing Devil) in 1801 and the first Railway Locomotive (The Pennydarren) in 1804.



**Trevithick Day captures the essence of Camborne and provides a model for events that appeal to local people and visitors**

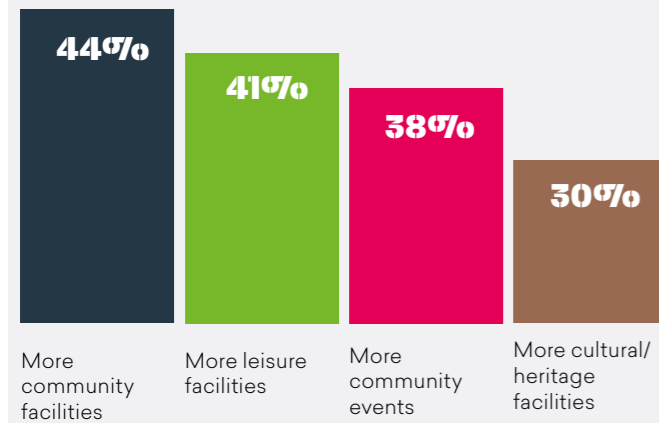
The town does not host a cinema and has no permanent theatre, although a number of public rooms are used for performances by local groups.

Unlike other towns, there is no space specifically for young people and consequently no opportunity to promote cultural activity to this key target group. The provision of space for young people to make and play music has been identified as a key requirement.

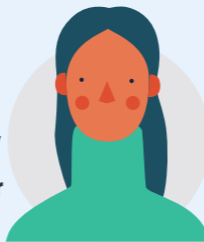
Compared to other towns in Cornwall, Camborne lags behind with its cultural and sporting offer. The local population want and need a broader offer and the theme of innovation provides opportunities to enhance Camborne as a cultural destination.

This was a clear message from the Community Engagement Survey.

**What would make you visit the town more often?**  
Four of the top six answers were:



**We need a space for the younger community to visit, an attraction that families can visit (a heritage art space/museum/interactive space for families).**



**How about a venue for music, comedy or drama? How about a heritage centre or museum?**

Local business woman

## Key challenges



- Requirement for additional sport and leisure facilities, with this challenge supported by the health data.
- Requirement for a broader range of cultural and heritage facilities
- Requirement for additional community facilities and events

## Key assets & strengths



- UNESCO World Heritage Site status
- Trevithick Day attracts 25,000 to 30,000 visitors to the town
- Good quality local sports clubs
- Strong cultural groups, including the TR14ers, Camborne Town Band and the Holmans Choir

The town does not host a  
**Cinema**  
and has no permanent  
theatre



# Our Natural & Built Environment

The beautiful North Cornwall coast lies around four miles to the north west of the town, with Carn Brea, a common land hilltop site of significant archaeological interest, overlooking the town from the south east. Carn Brea is easily accessible: it offers wonderful opportunities for walking and Carn Brea castle, built in the 14th Century as a chapel, now operates as a popular restaurant.

## Buildings

Some of Camborne's traditional buildings have received support over recent years through the Camborne, Roskear and Tuckingmill Townscape Heritage Initiative which ran in two phases from 2004 to 2016, although, much is still to be done.

## Green environment

From an environmental perspective, the percentage of green space in the town is well below the national average figure and the space allocated to public parks and gardens is less than half of the national average equivalent (Table 22).

## Air quality

Cornwall Council declared the area an Air Quality Management Area in 2005, and Camborne still fails to meet national air quality standards, with resultant negative health impacts.

## Town maintenance

Despite some wonderful historic buildings throughout the town, there are repeated references to the poor quality of the built environment. Comments suggest feelings that the town centre is falling into disrepair, with the poor maintenance of shop fronts and the large number of empty buildings clearly significant factors.

### Extraordinary People of Camborne

#### Nicholas Holman

Founded Holman Brothers Limited, Cornwall's largest manufacturers of mining equipment, in 1801

### Key challenges



- Underuse of historic buildings
- Poor quality and neglected built environment, creating unattractive areas of the town centre

### Key assets & strengths



- A number of wonderful historic buildings, many of which are significantly underused
- Access to beautiful coastline and surrounding countryside

Camborne fails to meet **National** air quality standards



### Key historic buildings in the town centre include:

- St Martin and St Meriadoc Church
- Camborne Wesley Methodist Chapel
- Centenary Chapel
- The Passmore Edwards building, which currently houses the Town Council and the library
- The old Council Chambers and Fire Station building (currently vacant)
- Camborne Public Rooms (recently converted to apartments for over 50s)
- The Donald Thomas Centre, which is need of some investment and is currently underused as a community venue



# Our Communities

Despite the acknowledged environmental issues, the Community Engagement Survey identifies the existence of a close community, with friendly neighbourhoods. The town is known for having a strong and vibrant community spirit and the survey recognises the vital role played by history and heritage in the town's identity.

High levels of alcohol and substance misuse and addiction are linked to the poor quality of mental health but are seen as contributing to the growing and persistent levels of anti-social behaviour. The lack of community facilities, particularly for young people, is cited as a recurring theme.

The survey demonstrates a clear belief amongst increasingly large proportions of the local population, that these fundamental issues must be addressed to restore the civic pride of sense of place across the whole town.

Community is a common thread running throughout the survey and the lack of community facilities is repeatedly highlighted.

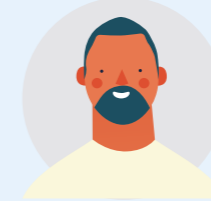
Some 44% of respondents identified that improved community facilities would increase their visits to the town, with 38% claiming that more community events would result in them visiting more often. The town clearly needs additional footfall and improvements in these areas could make significant differences to both footfall and spend.

Despite the issues raised, there is significant loyalty to Camborne and undeniable pride in the town.

Fostering the sense of community and identity are clearly fundamental to a successful future for Camborne and this is summed up in this response from our community engagement survey.



**The town area desperately needs improving. The buildings need renovations. Camborne has wonderful potential but unfortunately it isn't aesthetically pleasing at the moment. We need to make features of the old historic buildings and make features of Camborne's great history. I believe people will feel prouder of Camborne if this is done, and a prouder Camborne is a stronger one with a greater sense of community**



Local young employee

## Key challenges



- High levels of anti-social behaviour, with poor mental health and alcohol and drug misuse perceived as underlying factors
- Lack of community facilities and things to do, particularly positive engagement opportunities for young people
- Lack of intergenerational opportunities for the young and old of the town to mix and learn about each other's lives and needs
- High levels of long term illness and poor physical and mental health

## Key assets & strengths



- Pride amongst local people for the town
- Strong community identity

**44%**  
of respondents identified that improved community facilities would increase their visits to the town,



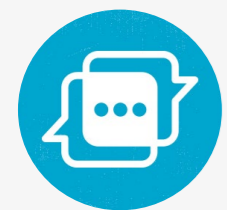
A busy street scene with pedestrians, cars, and a 'PHILPS FAMOUS PASTIES FROM Cornwall' sign. The image is overlaid with a semi-transparent blue filter. The text 'Two.' is in green and 'Strategy' is in white.

# Two. Strategy

# Camborne Town Deal Board Structure

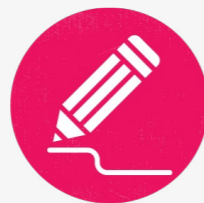
The Town Deal Board was formed in the spring of 2020 and, consistent with Town Deal Guidance, it is made up of a broad range of people who are all passionate about Camborne's future. It comprises representatives from the community, private and public sectors, has a private sector chair and includes our MP and both the Chair and Chief Executive of the Local Enterprise Partnership.

The Board and each of the partner groups have each met regularly since their creation. The minutes of Board Meetings are placed on the website, once approved, and short operational meeting notes are produced for each Partner Group meeting. Key documents are placed in a shared area for access by Board members at any time.



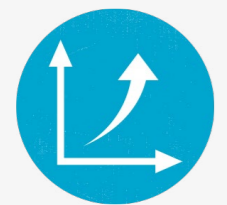
### Communications and Engagement Partners

To drive good two way communication throughout the process and to oversee the co-production of the Town Investment Plan.



### Creativity Partners

To take a pro-active role in driving the development of appropriate, creative sector and cultural projects for inclusion in the Town Investment Plan.



### Prosperity Partners

To take a pro-active role in driving the development of good quality, appropriate economic projects for inclusion in the Town Investment Plan.



### Vision Partners

To lead on the co-creation of a vision for the town, giving due consideration to the work of the Board and taking direction from the local community.



### Finance and Future Planning Partners

To take an overview and to undertake a scrutiny role to inform, monitor and add value to the governance, risk management and strategic planning work of the Camborne Town Deal Board.

**One Board, with a voluntary Chair, voluntary members & a number of supporting officers**

**Five Partner Groups, each with a Chair and Board representatives and agreed terms of reference**

**One part-time Co-ordinator**

**One overall manager for all four Town Deals, funded by Cornwall Council**

**One administrator providing support to all four towns, paid for by capacity funds**

**One web developer and graphic designer, supporting development of the website, Town Investment Plan and the brand identity**

**One external marketing consultant, offering communications and engagement support and funded through the capacity funding budget**

**Cornwall Council acting as accountable body – entering into legal contracts on behalf of the four Town Deals & providing other specialist support**

# Town Vision

The Town Deal Board Vision Partners had the specific task of leading the co-creation of an inspirational, high quality and achievable vision for the town.

The group held a number of professionally facilitated workshops and developed a vision, along with a set of values and strategic objectives.

Once the centre of the industrialising world, Camborne's 22,000 residents have suffered from disproportionately high levels of social and economic deprivation since the decline of the tin mining industry and closure of a large engineering company and there are now significant areas of the town ranked in the top 20% in the UK for multiple deprivation indices.

**Extraordinary People of Camborne**

**Rosemary Hereford (1913–2019)**  
 Lived at Penponds. Taught music at schools and at home, accompanist to many local choirs. She was a Bard Kernow Gorsehdd.

## A Vision for Camborne

Camborne will return to being a place where the extraordinary becomes possible.

An innovative, inspiring and welcoming town, which is generous of spirit and aspirational in its aims, it will be a healthy, clean, proud and loved town that celebrates its rich history, heritage and achievements, which will in turn act as a catalyst for its bold look to the future.

## Ways of treating others

Welcoming, caring, empowering, empathetic, appreciative, humanitarian and generous, with a strong passionate belief in others.

## Ways of working

Grounded, honest and humble, but aspirational, inspiring and innovative, with great inclusive community spirit and civic pride.

## The Camborne Town Deal will:

 <p>Ensure the town is a thriving place where people live, work, play, learn, care, create and visit.</p>	 <p>Ensure that all the plans and regeneration are aimed at long term sustainability/growth in economic, social and environmental terms.</p>	 <p>Review all relevant built assets and sites and look to maximize their potential for delivering the vision and objectives.</p>
 <p>Create an affordable, reliable and accessible low carbon sustainable transport network, including links.</p>	 <p>Implement changes to reduce car use in the town centre, reducing congestion, improving air quality and enhancing the experience for all users.</p>	 <p>Promote and partner to deliver the highest level of digital connectivity for business, individuals and creative sectors and support the digital economy.</p>
 <p>Celebrate existing and historic heritage, arts, and culture and use that and link that to a future thriving culture where turning aspirations into realities becomes second nature.</p>	 <p>Review and plan for low carbon, renewable energy systems for all elements of regeneration.</p>	 <p>Secure and gain long-term access to appropriate and available green spaces and create others for physical and mental wellbeing.</p>

# Our Intervention Themes, Objectives & Projects

Town Deal Intervention Themes have been mapped against the objectives emerging from the contextual analysis above and the project proposals, as follows:



Intervention Theme	Objectives	Projects
<b>Local Transport</b> 	To create an affordable, reliable and accessible low carbon sustainable transport network, for use by local people and tourists alike	Life Cycle Camborne (Cycling & Walking Network) Life Cycle Camborne (BID)
<b>Digital Connectivity</b> 	To bring economic benefits to the area from improved digital connectivity	Fibre Park
<b>Urban Regeneration (Planning and Land Use)</b> 	<p>To improve the attractiveness of the town, to increase footfall from both locals and tourists</p> <p>To bring derelict and underused sites back into use to provide much needed new facilities, to improve attractiveness and increase footfall</p> <p>To improve workplaces from a health perspective</p>	<p>The Buzz Station</p> <p>Project A-Void Phase 2 and Prosperity Accelerator Partnership</p> <p>Camborne Contemporary Crafts Hub</p>
<b>Arts, Culture and Heritage</b> 	<p>To improve the cultural offer for local people</p> <p>To make better use of the unique character of Camborne, including its rich history and heritage</p> <p>To improve the attractiveness of the town to increase footfall</p> <p>To improve the tourism offer and to gain an economic advantage from additional tourism spend</p> <p>To provide additional opportunities for sport and exercise to improve health and wellbeing</p>	<p>Camborne Contemporary Crafts Hub</p> <p>Renovating the Recreation Ground</p> <p>Park Gerry Sport &amp; Amenity</p> <p>Life Cycle Camborne (Cycling &amp; Walking Network)</p> <p>Life Cycle Camborne (BID)</p> <p>Project A-Void Phase 2 and Prosperity Accelerator Partnership</p> <p>The Buzz Station</p>
<b>Skills Infrastructure</b> 	To improve skills levels for local people	<p>Food &amp; Farming Enterprise Hub</p> <p>Camborne Contemporary Crafts Hub</p> <p>Fibre Park</p> <p>The Buzz Station</p>
<b>Enterprise Infrastructure</b> 	<p>To provide additional and improved workspace, to provide improved economic opportunities for local people, to increase the numbers of people who are economically active</p> <p>To provide improved workspace and enterprise infrastructure to stimulate growth and increase average salaries.</p>	<p>Camborne Contemporary Crafts Hub</p> <p>Fibre Park</p> <p>Food &amp; Farming Enterprise Hub</p> <p>Project A-Void Phase 2 and Prosperity Accelerator Partnership</p> <p>The Buzz Station</p>

# Intervention Themes

The contextual analysis of Camborne identifies both significant challenges and opportunities with resultant projects emerging for each of the six Town Investment Plan Themes, as follows:

## Local Transport

Despite excellent transport links, provision within the town for pedestrians and cyclists is poor and the Life Cycle Camborne (Cycling and Walking Network) and the connected Life Cycle Camborne (BID) project will deliver a comprehensive network of walking and cycling links, connecting key services and public transport interchanges. The proposals will deliver significant local economic benefits, whilst bringing environmental and much needed health and well-being improvements.



## Digital Connectivity

The industrial area of Pool, on the edge of the Town Deal Area, currently enjoys next generation connectivity through an internationally connected fibre node, alongside a BT leased line, providing dual routed connectivity for global standard reliability. This hyperfast connectivity offers speeds of up to 400 Gbps and the area is attracting data intensive businesses from multiple sectors.



Pool now hosts a burgeoning software development cluster: it is one of the fastest growing technology clusters in the UK, with a number of high tech and high growth companies collectively creating dozens of well paid jobs each year.

The Fibre Park proposal looks to build on this success and accelerate growth in this high-tech cluster. The proposals will deliver 6,700 square metres of highly flexible workspace (including that delivered through the accelerator funding) with hyperfast connectivity, creating a nationally recognised tech hub, which will attract greater numbers of tech businesses and create a sustainable pipeline of new jobs with salaries around twice the average for the area. The proposals will also create a Digital Academy within the Fibre Park, with the private sector collaborating with Cornwall College and local schools to ensure that local young people have opportunities to develop digital software skills for progression into a broad range of technology sectors.

## Urban Regeneration (Planning and Land Use)

The Buzz Station proposals utilise a significantly dilapidated, significantly underused site in the heart of the town to create a vibrant, town centre hub, providing facilities for leisure, hospitality, cultural activity, business, a meeting place for young people, appropriate housing and great quality public realm.



In addition, the BID Camborne led project, Project A-Void Phase 2 and Prosperity Accelerator Partnership, will deliver significant improvements to business premises across Camborne, bringing a step change in the attractiveness of the town and transforming vacant and run-down commercial properties into contemporary, prosperous businesses. The project will also create a place brand for Camborne, including marking gateways and producing branded shopping quarters.

Proposals for the Camborne Contemporary Crafts Hub in a refurbished and re-purposed Donald Thomas Centre will bring a significantly underused building back to life, creating studio space for a Community Interest Company to work warm glass, ceramics and small metals, providing affordable, but well kitted out, workspace for local artists and space for workshops for community groups, schools, college and university students.

## Arts, Culture and Heritage

Arts, culture and heritage are all fundamental to the strong sense of identity that binds Camborne as a place. Many projects described within alternative Intervention Themes have strong artistic, cultural or heritage based elements within them.



The Buzz Station proposals have strong cultural elements. The proposed Camborne Contemporary Crafts Hub developments at the Donald Thomas Centre develop the creative industries in the town and the Life Cycle Camborne (Cycling and Walking Network) proposals clearly provide increased opportunities for physical exercise and for reducing dependency on the car.

Increased opportunities for sport and physical activity are also provided by the Renovating the Recreation Ground project, providing an improved offer for both rugby players and for the broader community at Camborne Rugby Football Club. The proposed Park Gerry Sport & Amenity developments provide a community hub for play, sport and leisure that will meet the town's aspirations to make the town great again. The proposals incorporate a full sized football pitch, outdoor gym equipment, a multi-use games area and the best outdoor wheeled sports facility in Cornwall, which all will be free at the point of use.

The Project A-Void Phase 2 and Prosperity Accelerator Partnership proposals will have a significant impact on the attractiveness of the built environment in the Town Deal area and within Camborne town centre specifically, leading to increased footfall and resultant economic benefits.

## Skills Infrastructure

With low skills levels and high levels of economic inactivity prevalent in the area, an improved offer for learning and the acquisition of skills is paramount for the future well-being of the town and a number of proposals contained within this plan look to address this issue.



The Food and Farming Enterprise Hub will provide excellent horticulture, food and farming resources for the delivery of work based training for young people, adults, the community and industry on a working farm at Duchy College, Rosewarne, a land-based specialist college.

The Buzz Station, Fibre Park (through the Digital Academy), and Camborne Contemporary Crafts Hub will all provide much needed infrastructure for learning, with significant opportunities for participation in the broad range of workshops and learning events planned for each of these venues.

## Enterprise Infrastructure

It is clear that, despite Camborne's amazing history of innovation in mining and engineering, the town has suffered badly from the decline in its traditional industries in over more recent decades and it now suffers from levels of low economic activity and very specifiably from having a low wage economy.

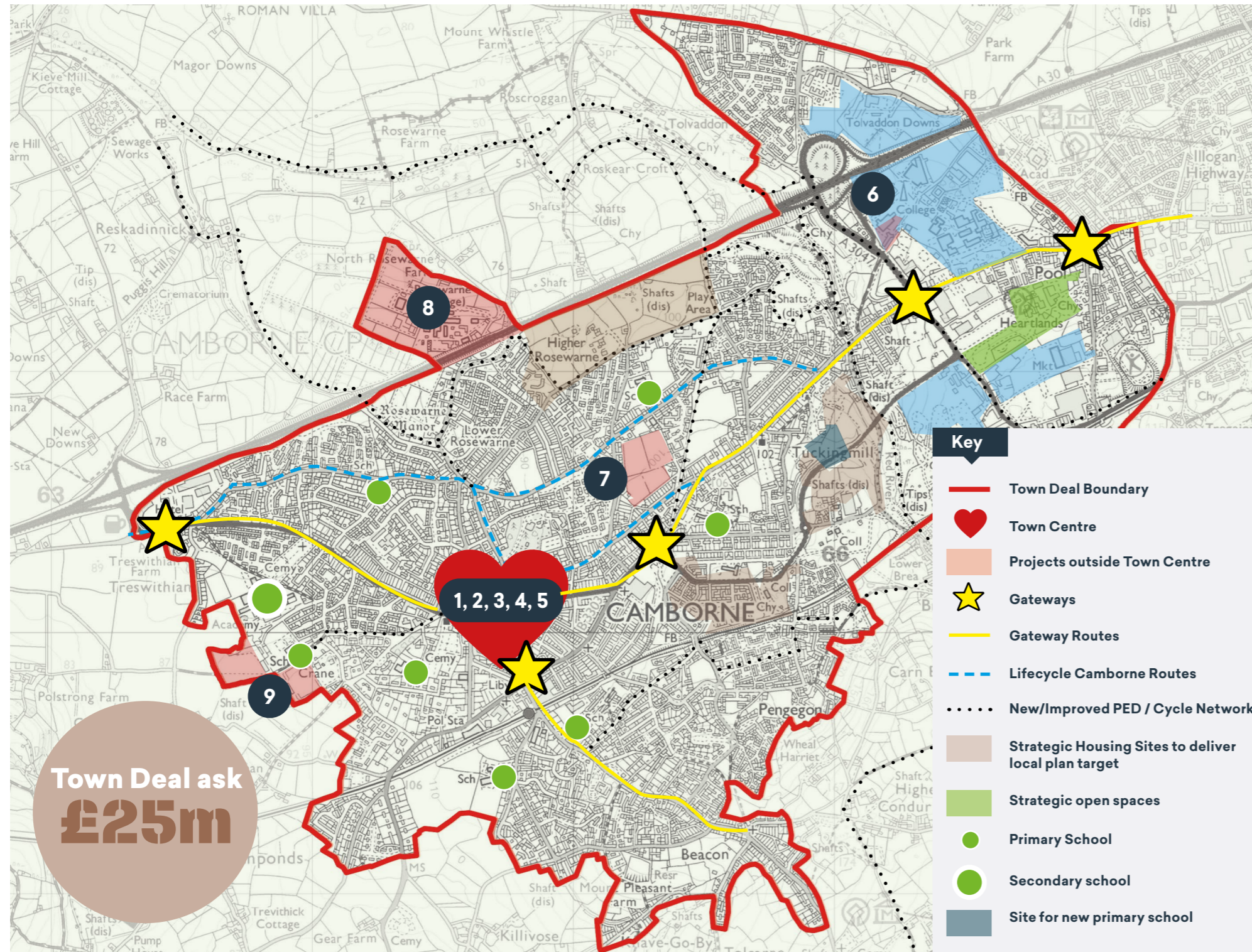


The Fibre Park proposals will provide a futuristic landmark gateway to Camborne with an extraordinary technology-led employment & creative learning space, with next generation connectivity (up to 400 Gbps) and a Digital Academy, leading to the creation of significant numbers of well-paid jobs.

Clearly, additional high quality and appropriate workspace will be provided as part of the Project A-Void Phase 2 and Prosperity Accelerator Partnership, which will bring run down and currently vacant, commercial properties back into use.

An element of workspace for local businesses is included in the Buzz Station proposals and the proposed Camborne Contemporary Crafts Hub developments will provide much needed infrastructure to underpin growth in the creative sector of a CIC.





- |                             |   |  |  |  |   |
|-----------------------------|---|--|--|--|---|
| <b>Town Centre Projects</b> | <b>1 The Buzz Station</b>   | <b>6 Fibre Park</b>  | <b>7 Park Gerry Sport &amp; Amenity</b>  | <b>8 Food &amp; Farming Enterprise Hub</b>   | <b>9 Renovating the Recreation Ground</b>   |
|                             | <b>2 Camborne Contemporary Crafts Hub</b>                                 | The creation of new employment and creative learning space with next generation connectivity. (up to 400GBps). | Creation of a community hub for play, sport and leisure; multi-use games area and green health corridor. | Refurbishment of business enterprise workspace and creation of a new community farm on Duchy College site. | Modernising facilities, inc. artificial floodlit pitch, upgrade changing rooms and a walk / cycle exercise route. |
|                             | <b>3 Project A-Void Phase 2 &amp; Prosperity Accelerator Partnership*</b> |  |  |  |   |
|                             | <b>4 Life Cycle Camborne Cycling &amp; Walking Network</b>                |  |  |  |   |
|                             | <b>5 Life Cycle Camborne (BID)</b>  |  |  |  |   |
- \* focusing on the town centre but covering the whole area within Town Deal boundary \*\* on both the Life Cycle Camborne \*\* these projects collectively improve connections between the town centre and the surrounding area.

### Vision

“Camborne: a place where the extraordinary becomes possible”

An innovative, inspiring and welcoming town, which is generous of spirit and aspirational in its aims. A town that celebrates its rich heritage, whilst using it as a catalyst for its bold look to the future.

With the aim of Camborne, Pool, Illogan and Redruth coming together to re-establish itself as Cornwall’s economic powerhouse, Camborne’s economy will be driven by innovation and an entrepreneurial spirit, with a growing creative and digital cluster.

### Town Centre Objectives

The Town Deal will:-

- Ensure the town is a thriving place where people live, work, play, learn, care, create and visit.
- Ensure long term sustainability economic, social and environmental growth
- Maximize the potential of built assets and site
- Create an affordable, reliable and accessible low carbon sustainable transport network
- Deliver the highest level of digital connectivity for business, individuals and creative sectors and support the digital economy.
- Celebrate existing & historic heritage, arts, and culture, whilst using it to create a future thriving culture where turning aspirations into realities becomes second nature.
- Plan for low carbon, renewable energy systems for all elements of regeneration
- Create a network of high quality green infrastructure

### Outputs & Outcomes

The following is a selection from the outputs and outcomes produced by our programme of activity

- 7km of walking & cycling paths
- Remediation and/or development of 11 abandoned or dilapidated sites
- Development of 2,700sqm of quality residential or commercial space in key locations
- Development of 1,000sqm of new public spaces
- Development of 1,800sqm of new community facilities
- Development of 5,420sqm of high quality commercial floorspace
- Significant health outcomes
- 1 Programme of grants to local SMEs or employers in key sectors
- 22 enterprises utilising high quality, affordable commercial spaces
- 5 start-ups or scale-ups utilising business incubation, acceleration and co-working spaces

The Town Deal Ask, outputs and outcomes used here exclude the Accelerator Fund projects.





**1 The Buzz Station**

The redevelopment to create a vibrant, town centre mixed use 'hub', containing provision for leisure, hospitality (food and drink), cultural businesses, a theatre, a youth cafe, infrastructure for learning and residential units. Including a large outdoor covered area. The site will also retain some elements of a refurbished bus station provision.

**2 Camborne Contemporary Crafts Hub**

Creation of a contemporary crafts hub, specialising in warm glass, ceramics and small metals. To purchase Donald Thomas Centre and lease to Camborne Contemporary Crafts Hub.

**3 Project A-Void Phase 2 & Prosperity Accelerator Partnership**

A further round of A-Void business improvement grants and creation of a place brand for Cornwall, including gateway marking & branded shopping quarters, matching businesses with void properties and the facilitation of pop ups.

**4 Life Cycle Camborne (Cycling & Walking Network)**

A network of cycleways and pathways around the town, along with associated cycle infrastructure and an initiative to increase bike ownership amongst young people and to remove barriers to cycle use. This proposal moves towards a carbon-neutral Camborne, centred around accessible, car-free living and working, with resultant improvements to air quality and health.

**5 Life Cycle Camborne (BID)**

Associated cycle infrastructure and an initiative to increase bike ownership amongst young people and to remove barriers to cycle use.

**Town Centre Vision**

At the heart of Camborne will be a living, buzzing, bustling, vibrant town centre where locals and visitors come to work, live, play, learn and care. It will be a place to spend time. It will have a real sense of energy and optimism; with the Buzz Station acting as this catalyst.

The centre itself will be pedestrian friendly with cared for plants, trees, and flowers that link to the architecture and spaces. Interesting, high quality work places will be home to businesses from single artisan crafts people to entrepreneurial tech start-ups and small companies attracted by the buzz and bustle and a desire to be sited on the digital high street of Cornwall. That street will continue after work as people stay on to meet friends and family to enjoy Cornwall's urban promenade.

The town centre will be linked to surrounding neighbourhoods and countryside by a pedestrian and cycle network, that spreads out from the centre like plant tendrils.

# Project Prioritisation

An open and transparent process was undertaken to secure agreement on the individual projects included in the Town Investment Plan.

A pro-forma was developed for the submission of project proposals for consideration by the Town Deal Board (Appendix 3).

## Prioritisation and scoring

The project prioritisation tool developed by Arup was amended to include 11 Camborne specific scoring criteria and the use of this prioritisation tool was agreed by the Town Deal Board.

The Town Specific Scoring Criteria incorporated within the Arup prioritisation tool align with Town Deal values and can be seen in Appendix 4.

## Project shortlisting

A Project Scoring Panel was created from Board members who could not be perceived as being conflicted and a half day workshop, facilitated by the Town Deal Co-ordinator, scored projects and prepared recommendations for the Board.

At that meeting, each project received was placed in one of two groups by the Project Scoring Panel:

1. Projects to be included in the TIP
2. Projects not identified as a priority for inclusion in the TIP at this stage. Some of these projects are of good quality and would contribute to the town deal objectives. Alternative sources of funding are being sought and these projects are summarised in Appendix 8.

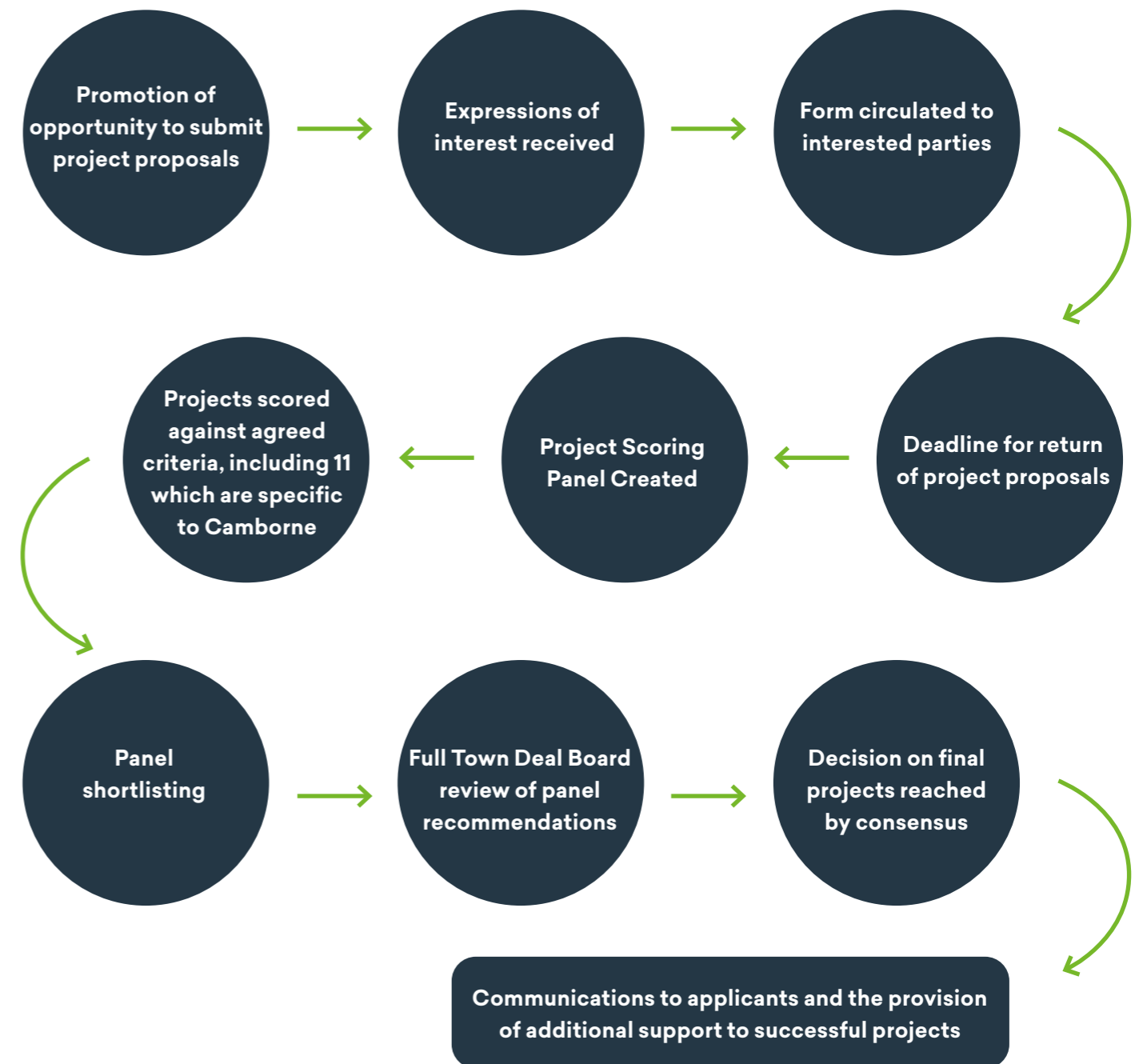
A full Town Deal Board meeting was then held to review the recommendations of the Project Scoring Panel. Each project was discussed in turn, with any member having an interest leaving the room whilst the individual projects were discussed.

## Decision making

Each eligible project was then allocated a category 1 or 2, giving due consideration to the views of the Project Scoring Panel and the Board. Decisions were reached by consensus and applicants were then notified.

## Additional support

Additional support was then provided to the priority projects to ensure that the proposals were as well-developed as possible by the time of the TIP submissions.



# Accelerator Funding

Agreement has been reached for two Town Deal projects to access Accelerator Funds, with spend due for completion before 31 March 2021, as follows:

## Project

### Project - A-Void: Transforming the Streetscape of Camborne Town Centre

Delivery of a number of capital grants to business premises owners / occupiers to create capital physical improvements to business premises within the Town Deal Boundary area. This project will fully commit the allocated funding and it is a forerunner of Project A-Void Phase 2 and Prosperity Accelerator Partnership, which will be delivered as part of the main programme of Town Investment Plan activity.

Total Cost: £270,500

Town Deal Ask: £221,857

## Project

### Fibre Park (Preliminary)

Delivery of a preliminary phase of the creation of a Fibre Park. This phase will provide 1,950 sqm of high quality, affordable, commercial workspace, with world class connectivity, for a burgeoning software development cluster on the Cornwall College campus site. The complete project, including the main Fibre Park development included in the TIP will increase this output to deliver a total of 6,700 sqm. This project will fully commit the allocated funding and it is a forerunner of Fibre Park, which will be delivered as part of the main programme of Town Investment Plan activity.

Total Cost: £1,056,826

Town Deal Ask: £528,413

Overall Total Cost: £1,327,326







Overall Total Town Deal Ask: £750,000

These figures are indicative only. Confirmation is being sought from MHCLG to a revised approach to the Accelerator Funds, but agreement should be in place by early February



# Shortlisted Projects

**Key**

-  **Local Transport**
-  **Urban Regeneration (Planning & Land Use)**
-  **Digital Connectivity**
-  **Arts, Culture & Heritage**
-  **Skills Infrastructure**
-  **Enterprise Infrastructure**

## The Buzz Station



Redevelopment of the Camborne Bus Station site to create a vibrant, town centre 'hub'. Potential uses will include provision for leisure, hospitality (food and drink), a theatre, cultural businesses, infrastructure for learning, residential, a well equipped youth café to ensure the needs of young people are met and a Wellness Centre, with a focus on delivering health outcomes for local people. Public realm, including a covered area, will be central to the masterplan for the site. Retention of bus terminus provision will also feature.

**Principal Intervention Theme**

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 **Secondary Intervention Themes**

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## Camborne Contemporary Crafts Hub

The creation of a contemporary crafts hub, specialising in warm glass, ceramics & small metals, inside a refurbished and repurposed Donald Thomas Centre. The activity planned for the Hub will include up-skilling local healthcare providers and relevant organisations, so they can include creative activities designed to deliver health outcomes.

**Principal Intervention Theme**

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 **Secondary Intervention Themes**

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## Project A-Void Phase 2 and Prosperity Accelerator Partnership

A further round of A-Void business improvement grants + creation of a place brand for Cornwall, including gateway marking & branded shopping quarters, matching businesses with void properties and the facilitation of pop ups.

**Principal Intervention Theme**

---

 **Secondary Intervention Themes**

---




## Life Cycle Camborne (Cycling & Walking Network)

A network of cycleways and pathways around the town. This proposal moves towards a carbon-neutral Camborne, centred around accessible, car-free living and working, with resultant improvements to air quality and health.

**Principal Intervention Theme**

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 **Secondary Intervention Themes**


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## Life Cycle Camborne (BID)

An initiative to increase bike ownership amongst young people and to remove barriers to cycle use to complement the benefits of the Life Cycle Camborne (Cycling and Walking Network) proposal.

**Principal Intervention Theme**

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 **Secondary Intervention Themes**

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## Fibre Park

The creation of 6,700 sq m (including 1,950 sq m from the preliminary phase utilising the accelerator funds) of new employment & creative learning space with next generation connectivity (up to 400 GPPs) & creation of a Digital Academy.

**Principal Intervention Theme**

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 **Secondary Intervention Themes**

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## Park Gerry Sport & Amenity

The creation of a community hub for play, sport & leisure, including a multi-use games area, a full sized football pitch, an outdoor wheeled sports facility, a variety of outdoor gym equipment and a good health green corridor on an undeveloped green space on three large, level playing fields.

**Principal Intervention Theme**

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 **Secondary Intervention Themes**

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## Food & Farming Enterprise Hub

Refurbishment of business enterprise workspace, an associated educational institution & creation of a new community farm on the Duchy College site at Rosewarne.

**Principal Intervention Theme**

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 **Secondary Intervention Themes**

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## Renovating the Recreation Ground

Upgrading and modernising facilities at Camborne Recreation Ground, including the creation of a floodlit artificial turf sports pitch, plus the refurbishment of changing rooms, replacement of the grandstand roof and creation of a walking and cycling exercise circuit. With the artificial pitch being made available to the wider sporting community in the evenings, the proposal will make a major contribution to local sport and physical activity.

**Principal Intervention Theme**

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 **Secondary Intervention Themes**

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# Ongoing Governance & Programme Management Office

Our strong partnership working ethic will continue through this journey. The ongoing delivery of the Camborne Town Investment Plan will be governed by the Camborne Town Deal Board, which will continue to include representation from the public, private and third sectors.

The Camborne Town Deal Board will:

- Continue to set and agree strategic direction and priorities
- Review and support progress of agreed objectives, including the delivery of the identified priority projects
- Oversee evaluation activity
- Make recommendations to the accountable body.

Cornwall Council, the lead Council for the Town Deal, will be the accountable body for all Town Deals. Cornwall Council will have responsibility for managing and administering funds on behalf of the Town Deal Board, reporting on performance, and ensuring appropriate governance and assurance are in place. Cornwall Council are in a unique situation with four Town Deals.

With this comes the opportunity to combine efforts and resources that complement and support all four towns. With this in mind, Cornwall Council will achieve economies of scale by providing a Programme Management Office (PMO) function as part of future delivery arrangements that supports all four towns and delivers against the Town Investment Plan objectives. A management fee of 1.5% will be added to the programme for this function and this is included in the TIP Project Cost Summary above.

The PMO will oversee the delivery of the Town Deal projects and advise the Town Deal Board on progress.



# Measuring and managing our impact

Our Town Investment Plan will work with people and businesses to ensure the impacts of our activity steward and protect our environment, consider social value and make sure that Camborne’s residents are not worse off.

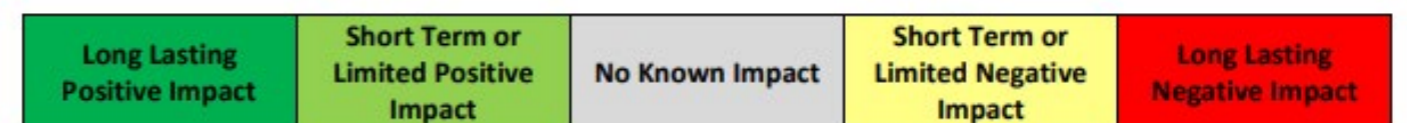
We have undertaken initial Benefit Cost Ratios (BCR) assessments of the overall TIP impact based on indicative project values. We calculate this to be 14.7 for Camborne. Detailed project level BCRs will be developed as part of the full business case phase.

This marks the beginning of our intention. We will be performing an in-depth review of social and environmental outcomes that embed sustainability and leave a lasting local legacy. We value the potential these projects can offer in terms of environmental impacts, skills, business support, inclusion, supply chain impacts, wage growth and additionality. To begin this, we have used the Cornwall Council Decision making tool\* to assess impact.

\*This tool integrates principles from the Kate Raworth Doughnut Economics model to show us how projects and decisions will affect the environment and people and make sure that they are placed at the heart of everything we do.



Key:



# Project Cost Summary

Project	Lead Organisation	Capital Cost	Revenue Cost	Total Cost	Town Deal Ask	Match	Intervention Rate
Buzz Station	Cornwall Council	£21,721,000	£256,439	£21,977,439	£17,095,937	£4,881,502	78%
Camborne Contemporary Crafts Hub	Camborne Town Council	£590,000	£8,100	£598,100	£540,000	£58,100	90%
Project A-Void 2 & Prosperity Accelerator Partnership	BID Camborne	£600,000	£158,400	£758,400	£560,000	£198,400	74%
Life Cycle Camborne (Walking & Cycling Network)	Cornwall Council	£2,000,000	£25,500	£2,025,500	£1,700,000	£325,500	84%
Life Cycle Camborne (BID)	BID Camborne	£751,000	£24,765	£775,765	£651,000	£124,765	84%
Fibre Park	Headforwards	£3,833,714	£220,178	£4,053,892	£2,011,857	£2,042,035	50%
Park Gerry Sport and Amenity	Camborne Town Council	£1,067,000	£84,805	£1,151,805	£987,000	£164,805	86%
Food & Farming Enterprise Hub	Duchy College	£550,000	£7,500	£557,500	£500,000	£57,500	90%
Renovating the Recreation Ground	Camborne Rugby Football Club	£1,250,000	£14,250	£1,264,250	£950,000	£314,250	75%
<b>Sub Total</b>		<b>£32,362,714</b>	<b>£799,937</b>	<b>£33,162,691</b>	<b>£24,995,794</b>	<b>£8,166,857</b>	<b>75%</b>
<b>Percentages</b>		<b>98%</b>	<b>2%</b>	<b>100%</b>	<b>75%</b>	<b>25%</b>	



# Evaluation and Theory of Change Analysis

## Introduction

The Theory of Change Analysis will inform the scoping and subsequent delivery of a Continuous Evaluation, which will be undertaken collectively, across all successful Town Deal towns in Cornwall. It will be procured externally by Cornwall Council, on behalf of the Cornish Town Deals and utilising Town Deal Funds.

The key objectives of the evaluation are to: -

- ensure that the public money is well spent and represents value for money
- ensure that the intervention is well targeted and effective
- ensure that the desired outcomes are achieved
- ensure that the learning opportunities are maximised for all stakeholders involved in the delivery of the programme, including during the delivery of the programme

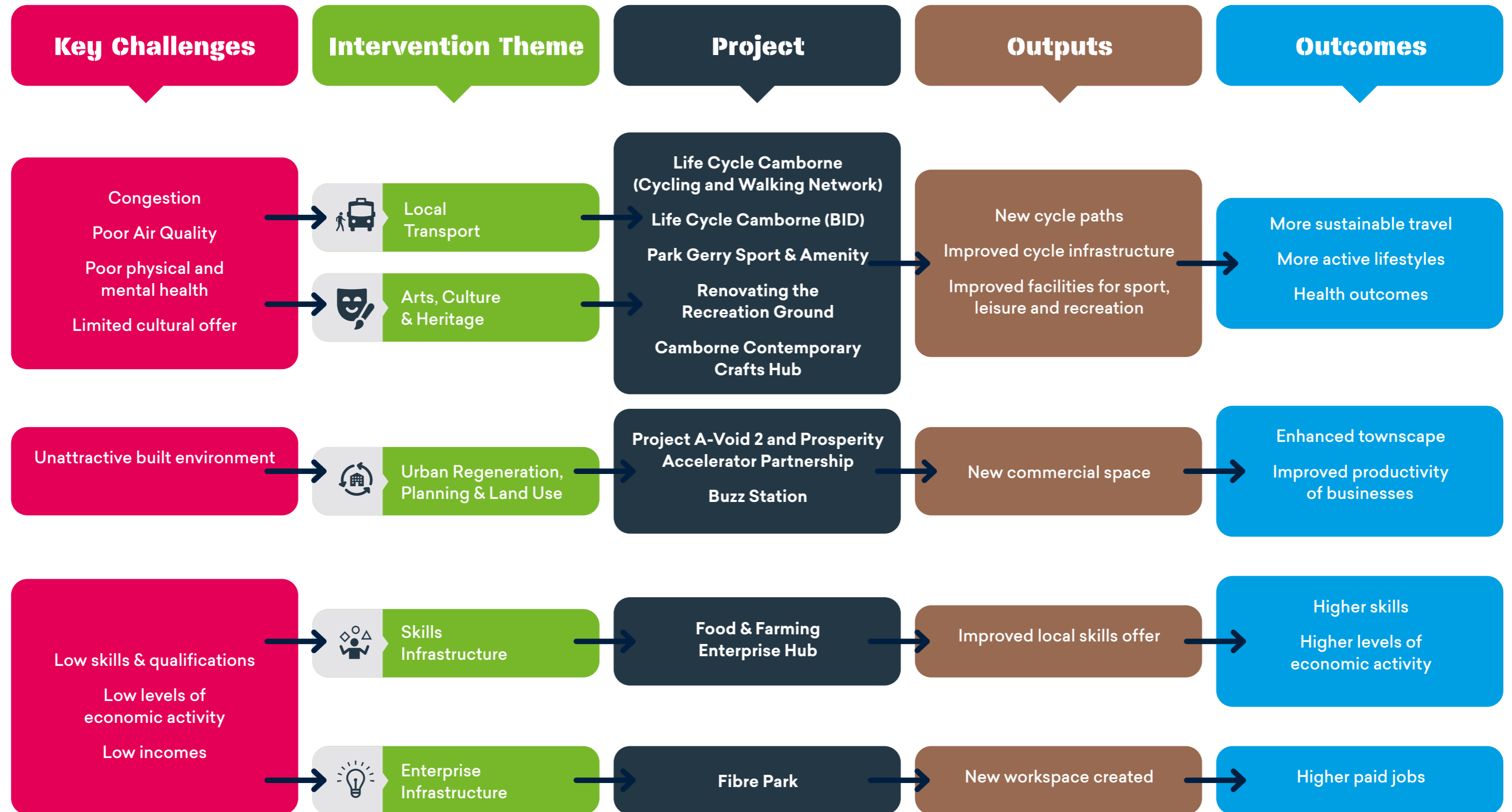
## Theory of Change Tables

The following tables identify the key issues for the Town Deal, provides an analysis of the supporting evidence, describe the interventions designed to impact positively on the issues and provide information on how the desired outputs, outcomes and impacts will be delivered and subsequently measured to allow an analysis of the programme's effectiveness to be undertaken through a continuous evaluation exercise, consistent with Magenta Book principles, to ensure that opportunities for learning are maximised.







# Theory of Change Summary



# Buzz Station

The redevelopment of the Camborne Bus Station site to create a vibrant, town centre mixed use ‘hub’, containing provision for leisure, hospitality (food and drink), cultural businesses, a theatre, a youth cafe, infrastructure for learning and residential units.

Public realm, including a large outdoor covered area, will be central to the masterplan for the site. The site will also retain some elements of a refurbished bus station provision.

<p><b>Primary Intervention Theme</b></p> 	<p><b>Evidence Review</b></p> <p>Good current information on indices of deprivation (2019, by LSOA), with significantly more detail available, if required.</p>
<p><b>Secondary Intervention Themes</b></p> 	<p>Significant numbers of references to anti-social behaviour in the Community Survey.</p>
<p><b>Evidence Source *</b></p> <p>Tables 9 &amp; 17 Community Survey</p>	<p>The geography relating to the data available is not an exact match with the Town Deal boundary, but it acts as an excellent proxy.</p>





**Approach to Dissemination**

One annual written report will be produced & circulated to those involved in delivery of the project and to those involved in Town Deal delivery in Cornwall. Also, one workshop will be held, with a focus on the lessons learnt, as part of an annual combined Town Deal evaluation event for Cornwall.

# Camborne Contemporary Crafts Hub

Creation of a contemporary crafts hub, specialising in warm glass, ceramics & small metal, in the currently significantly underused Donald Thomas Centre.

<p><b>Primary Intervention Theme</b></p>  <p><b>Secondary Intervention Themes</b></p>  <p><b>Evidence Source *</b> Tables 1, 15, 17 &amp; 20 Tables 6, 7, 8 &amp; 20</p>	<p><b>Evidence Review</b></p> <p>Economic activity data (Table 1) is from 2011 Census, so not current, although there is significant information which is more recent (Tables 15, 17 &amp; 20) to support the identification of the challenges.</p> <p>Good current data on incomes &amp; salaries (Tables 6, 7, 8 &amp; 20).</p> <p>The geography relating to the data available is not an exact match with the Town Deal boundary, but it acts as an excellent proxy.</p>
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**Approach to Dissemination**

One annual written report will be produced & circulated to those involved in delivery of the project and to those involved in Town Deal delivery in Cornwall. Also, one workshop will be held, with a focus on the lessons learnt, as part of an annual combined Town Deal evaluation event for Cornwall.

# Project A-Void Phase 2 & Prosperity Accelerator Partnership

A further round of A-Void business improvement grants, plus the creation of a place brand for Camborne, including gateway marking & branded shopping quarters, matching businesses with void properties and the facilitation of pop ups.


<p><b>Primary Intervention Theme</b></p> 	<p><b>Evidence Review</b></p> <p>Economic activity data (Table 1) is from 2011 Census, so not current, although there is significant information which is more recent (Tables 15, 17 &amp; 20) to support the identification of the challenges.</p> <p>Good current data on incomes &amp; salaries (Tables 6, 7, 8 &amp; 20).</p> <p>The geography relating to the data available is not an exact match with the Town Deal boundary, but it acts as an excellent proxy.</p>
<p><b>Secondary Intervention Themes</b></p> 	
<p><b>Evidence Source *</b></p> <p>Tables 1, 15, 17 &amp; 20</p> <p>Tables 6, 7, 8 &amp; 20</p>	

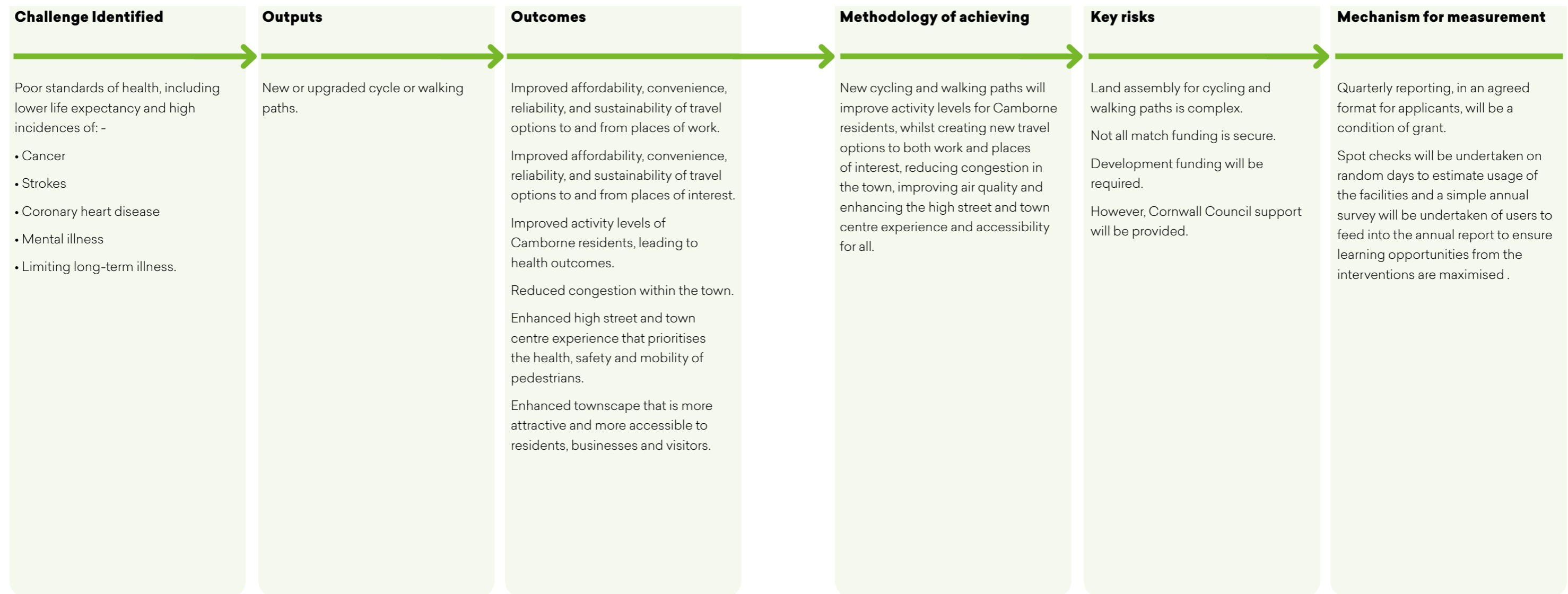


<p><b>Approach to Dissemination</b></p>	<p>One annual written report will be produced &amp; circulated to those involved in delivery of the project and to those involved in Town Deal delivery in Cornwall.</p> <p>Also, one workshop will be held, with a focus on the lessons learnt, as part of an annual combined Town Deal evaluation event for Cornwall.</p>
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# Life Cycle Camborne (Cycling & Walking Network)

The creation of a network of cycleways and pathways around the town and connecting the town to the surrounding countryside. This proposal moves towards a carbon-neutral Camborne, centred around accessible, car-free living and working, with resultant improvements to air quality and health.

<p><b>Primary Intervention Theme</b></p>  <p><b>Secondary Intervention Themes</b></p>	<p><b>Evidence Review</b></p> <p>Lots of detailed current health information included in tables, originating from the Local Insight Profile recently produced for Camborne Town Council - more detail than that included in the tables is available from the original document</p>
<p><b>Evidence Source *</b></p> <p>Tables 17 &amp; 19</p>	<p>The geography relating to the data available is not an exact match with the Town Deal boundary, but it acts as an excellent proxy.</p>




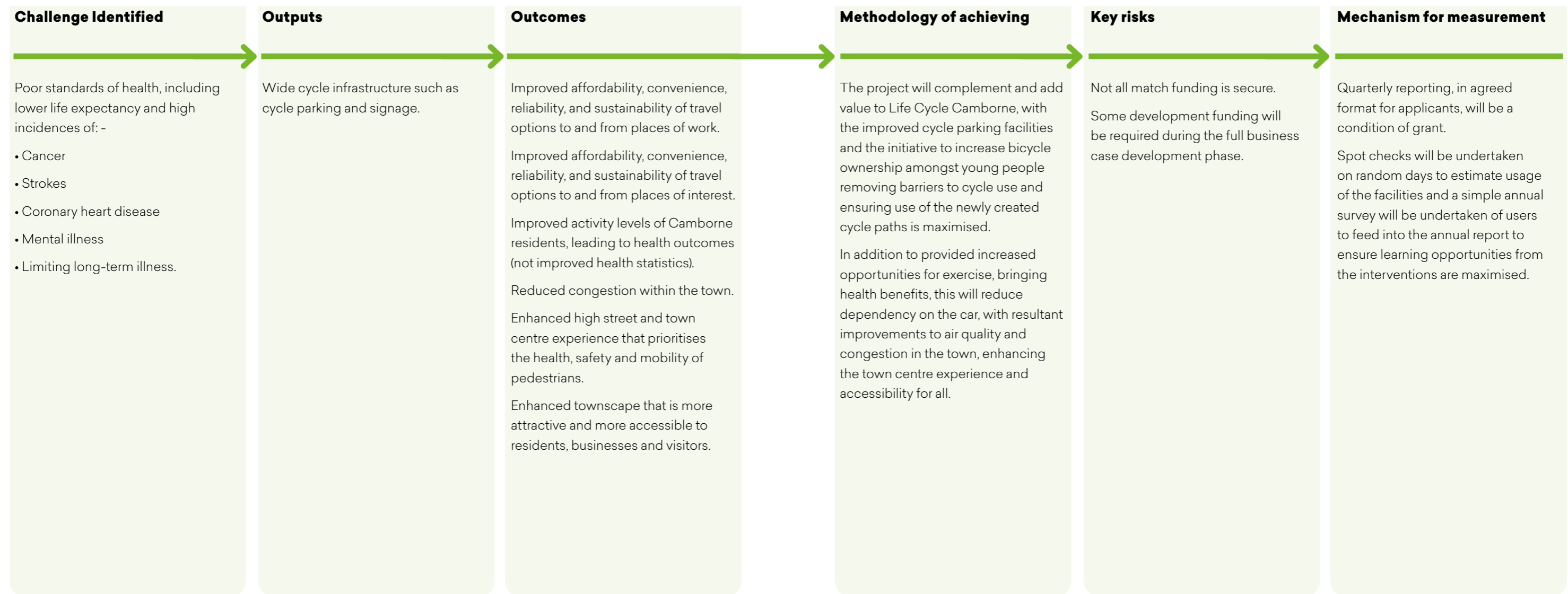
## Approach to Dissemination

One annual written report will be produced & circulated to those involved in delivery of the project and in the delivery of Town Deal in Cornwall. Also, one workshop will be held, with a focus on the lessons learnt, as part of an annual combined Town Deal evaluation event for Cornwall.

# Life Cycle Camborne (BID)

The provision of appropriate cycle parking facilities, an initiative to increase bicycle ownership amongst young people and a programme of landmark public art and events to celebrate the Tour of Britain passing through Camborne in September 2021. Collectively, these proposals will remove barriers to cycle use, ensuring the benefits from Life Cycle Camborne are maximised, moving Camborne towards a carbon-neutral town, centred around accessible, car-free living and working, with resultant improvements to air quality and health.



<p><b>Primary Intervention Theme</b></p>  <p><b>Secondary Intervention Themes</b></p>	<p><b>Evidence Review</b></p> <p>Lots of detailed current health information included in tables, originating from the Local Insight Profile recently produced for Camborne Town Council - more detail than that included in the tables is available from the original document.</p>
<p><b>Evidence Source *</b></p> <p>Tables 17 &amp; 19</p>	<p>The geography relating to the data available is not an exact match with the Town Deal boundary, but it acts as an excellent proxy.</p>



<p><b>Approach to Dissemination</b></p>	<p>One annual written report will be produced &amp; circulated to those involved in delivery of the project and in the delivery of Town Deal in Cornwall.</p> <p>Also, one workshop will be held, with a focus on the lessons learnt, as part of an annual combined Town Deal evaluation event for Cornwall.</p>
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# Fibre Park

The creation of 7,000m2 of new employment & creative learning space with next generation connectivity (up to 400GBps) & creation of a Digital Academy on the existing Cornwall College campus.

<p><b>Primary Intervention Theme</b></p>  <p><b>Secondary Intervention Themes</b></p>  <p><b>Evidence Source *</b> Tables 1, 15, 17 &amp; 20 Tables 6, 7, 8 &amp; 20</p>	<p><b>Evidence Review</b></p> <p>Economic activity data (Table 1) is from 2011 Census, so not current, although there is significant information which is more recent (Tables 15, 17 &amp; 20) to support the identification of the challenges.</p> <p>Good current data on incomes &amp; salaries (Tables 6, 7, 8 &amp; 20).</p> <p>The geography relating to the data available is not an exact match with the Town Deal boundary, but it acts as an excellent proxy.</p>
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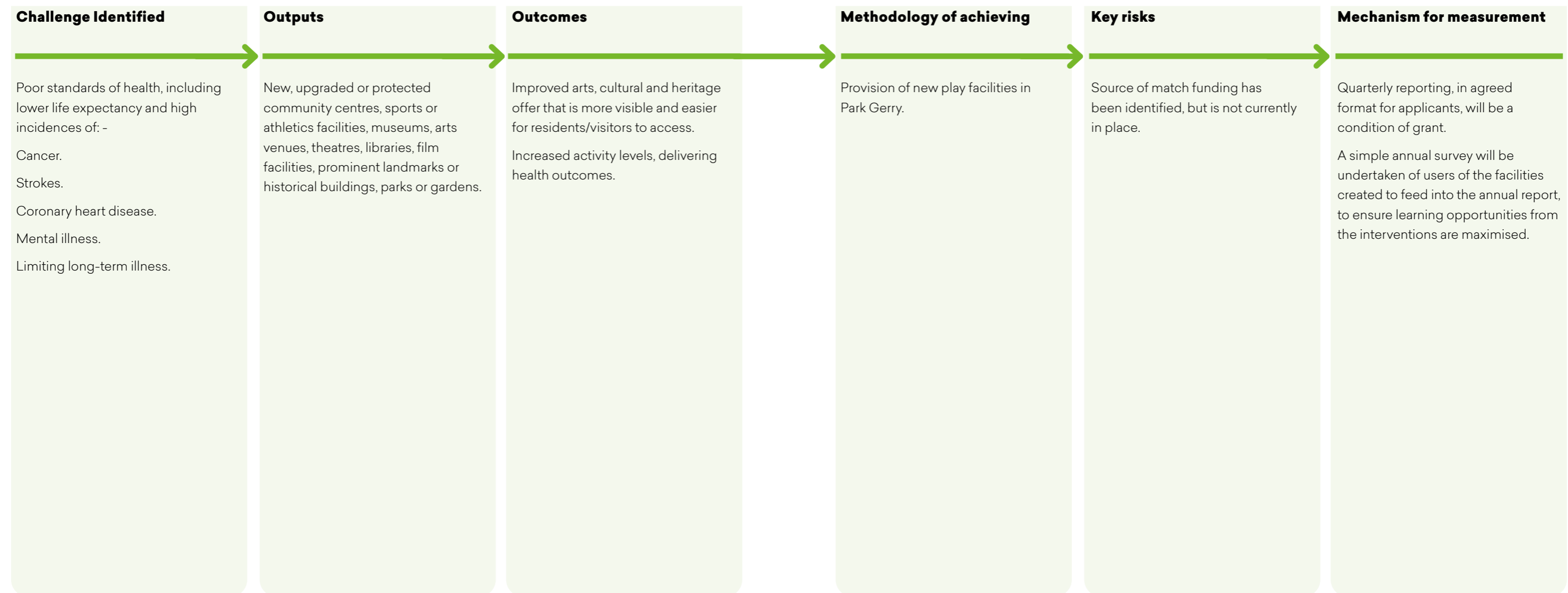
**Approach to Dissemination**

One annual written report will be produced & circulated to those involved in delivery of the project and to those involved in Town Deal delivery in Cornwall. Also, one workshop will be held, with a focus on the lessons learnt, as part of an annual combined Town Deal evaluation event for Cornwall.

# Park Gerry Sport & Amenity

The creation of a community hub for play, sport & leisure, including a multi-use games area, an outdoor wheeled sports facility and a good health green corridor on an undeveloped green space on three large, level playing fields.

<p><b>Primary Intervention Theme</b></p>  <p><b>Secondary Intervention Themes</b></p>	<p><b>Evidence Review</b></p> <p>Lots of detailed current health information included in tables, originating from the Local Insight Profile recently produced for Camborne Town Council - more detail than that included in the tables is available from the original document.</p>
<p><b>Evidence Source *</b></p> <p>Tables 17 &amp; 19</p>	<p>The geography relating to the data available is not an exact match with the Town Deal boundary, but it acts as an excellent proxy.</p>





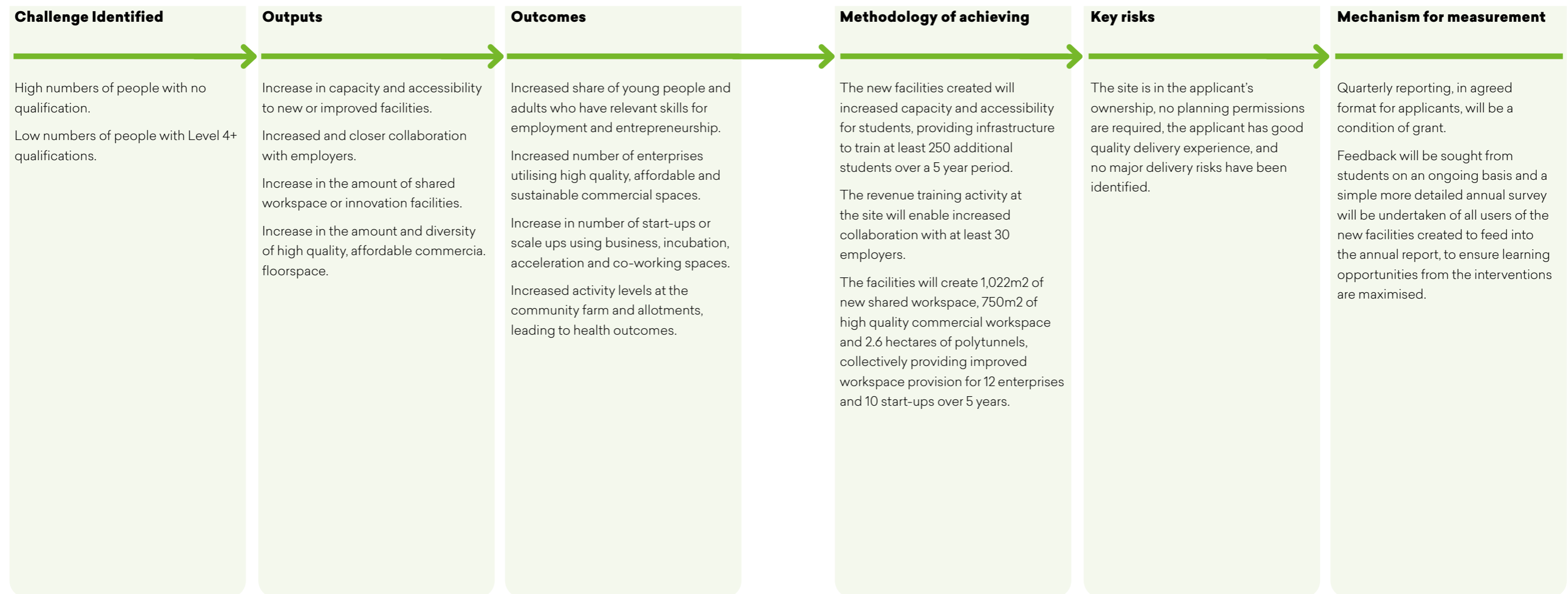
<p><b>Approach to Dissemination</b></p>	<p>One annual written report will be produced &amp; circulated to those involved in delivery of the project and to those involved in Town Deal delivery in Cornwall.</p> <p>Also, one workshop will be held, with a focus on the lessons learnt, as part of an annual combined Town Deal evaluation event for Cornwall.</p>
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# Food & Farming Enterprise Hub

The refurbishment of business enterprise workspace, an associated educational institution and the creation of a new community farm on the Duchy College site at Rosewarne.


<p><b>Primary Intervention Theme</b></p> 	<p><b>Evidence Review</b></p> <p>Good, current information from the Local Insight Analysis produced for Camborne Town Council.</p>
<p><b>Secondary Intervention Themes</b></p> 	<p>The geography relating to the data available is not an exact match with the Town Deal boundary, but it acts as an excellent proxy.</p>
<p><b>Evidence Source *</b></p> <p>Table 20</p>	



<p><b>Approach to Dissemination</b></p>	<p>One annual written report will be produced &amp; circulated to those involved in delivery of the project and to those involved in Town Deal delivery in Cornwall.</p> <p>Also, one workshop will be held, with a focus on the lessons learnt, as part of an annual combined Town Deal evaluation event for Cornwall.</p>
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# Renovating the Recreation Ground

Upgrading and modernising facilities at Camborne Recreation Ground, including the creation of a floodlit artificial turf sports pitch, plus the refurbishment of changing rooms, replacement of the grandstand roof and creation of a walking/cycling exercise circuit.

<p><b>Primary Intervention Theme</b></p> 	<p><b>Evidence Review</b></p> <p>Lots of detailed current health information included in tables, originating from the Local Insight Profile recently produced for Camborne Town Council - more detail than that included in the tables is available from the original document</p>
<p><b>Secondary Intervention Themes</b></p>	
<p><b>Evidence Source *</b> Tables 17 &amp; 19</p>	<p>The geography relating to the data available is not an exact match with the Town Deal boundary, but it acts as an excellent proxy.</p>



## Approach to Dissemination

One annual written report will be produced & circulated to those involved in delivery of the project and to those involved in Town Deal delivery in Cornwall.

Also, one workshop will be held, with a focus on the lessons learnt, as part of an annual combined Town Deal evaluation event for Cornwall.

# Strategic Fit

## The UK's Industrial Strategy

Within the Grand Challenges of the UK's Industrial Strategy, its stated mission is to ensure that people can enjoy at least five extra healthy, independent years of life by 2035, while narrowing the gap between the experience of the richest and poorest. With its focus on improving the health of its residents and on inclusive growth, Camborne Town Deal will make a significant contribution to this objective at the local level.

## The Local Industrial Strategy for Cornwall and the Isles of Scilly

Camborne provides a microcosm for Cornwall and the Isles of Scilly, with many of the issues identified at the LEP level, replicated in the town.

Among the challenges identified in the emerging strategy are:

- Large numbers of jobs in low wage sectors and areas of deprivation
- Smaller than average working age population and higher 65+
- Low levels of higher qualifications and skills gaps and shortages

As the supporting data in Appendix 1 demonstrate, each of these issues has also been identified as a challenge facing Camborne and the Town Deal proposals are looking to address each of these challenges in turn:

- The Fibre Park proposals look to create jobs at significantly higher wage levels than averages for the area (Table 9).
- Most of the projects have an objective of addressing the high levels of deprivation in the area (Table 9), through the delivery of economic, health and social outcomes (Buzz Station, Life Cycle Camborne (Cycling & Walking Network), Life Cycle Camborne (BID), Park Gerry Sport & Amentiy, Renovating The Recreation Ground, Camborne Contemporary Crafts Hub, Fibre Park and the Food & Farming Enterprise Hub)
- The Town Deal acknowledges Camborne's ageing population (Table 9), including the significant numbers of over 65's and many of the projects (including The Buzz Station) focus some elements of service delivery at older citizens.
- The data provides evidence of low skills levels in Camborne (Table 9) and the Food & Farming Enterprise Hub and the Digital Academy within the Fibre Park proposal, look to address this.

Consequently, there is significant evidence to support the premise that the Town Deal is consistent with and complementary to the Local Industrial Strategy.

## Chancellor's 2020 Spending Review

These proposals align perfectly with the Chancellor's 2020 Spending Review which looks to level up opportunity across the UK, by delivering jobs, wage improvements and improved prospects in one of the most deprived communities in the UK.

## Climate Change Development Plan

Cornwall Council declared a climate change emergency in January 2019 and the emerging Climate Emergency Development Plan (CEDP) clearly articulates that compact, connected and co-ordinated places are more productive, socially inclusive, resilient, cleaner and have lower greenhouse gas emissions.

The document refers to the requirement for town centres to secure their function as vital community hubs, to secure new uses and to address opportunities for adaptation and change, to ensure that our towns are thriving places to live and work, whilst not eroding their vitality and viability.

Furthermore, there is an aspiration that all buildings supported through the Town Deal process will conform to BREEAM Very Good standards, as a minimum and the extent to which the proposals contribute to the climate change agenda was one of the town specific scoring criteria used within the project prioritisation tool.

In short, the Camborne Town Investment Plan is completely aligned with the Town Centre Development Principles articulated within the CEDP.

The key projects contributing to the Climate Change Development Plan are Life Cycle Camborne (Cycling & Walking Network) and the linked Life Cycle Camborne (BID) project, which will collectively reduce dependency on the car.

## Cornwall Local Plan

The Cornwall Local Plan contains sections on each of 17 Community Network Areas (CNAs) and the Town Deal proposals align well with the Camborne Pool Illogan and Redruth (CPIR) CNA section.

Objectives identified for CPR within the Local Plan (with references to the Town Deal projects consistent with them attached in brackets) include the following:

### • Objective 1 Employment

Enable higher quality employment opportunities by sustaining and enhancing the area's role as one of Cornwall's primary employment hubs (Fibre Park, Contemporary Crafts Hub)

### • Objective 4 Education

Consolidate and enhance the community network area's education opportunities, including Duchy College (Food & Farming Enterprise Hub)

### • Objective 5 Regeneration

Reduce deprivation and support regeneration and growth through allocation of land for services, provision of infrastructure (including open space and enhanced sports and leisure facilities) and through high quality design (The Buzz Station, Park Gerry Sport & Amenity, Renovating the Recreation Ground)

### • Objective 6 Transport Infrastructure

Deliver the highway and sustainable transport infrastructure needed to support the delivery of the area's regeneration Life Cycle Camborne (Cycling & Walking Network), Life Cycle Camborne (BID)

### • Objective 7 Contaminated Land

Continue remediation of the area's contaminated land, in doing so regenerating underused or derelict sites for housing, leisure and employment uses (The Buzz Station)

Furthermore, the plan goes on to identify Camborne Bus Depot as a key opportunity for Camborne (The Buzz Station); it refers to the need to maximise the opportunities arising from the Cornwall College campus (Food & Farming Enterprise Hub, Fibre Park) and it recognises the importance of sustainable transport, including the provision of walking and cycling routes Life Cycle Camborne (Cycling & Walking Network), Life Cycle Camborne (BID) and much needed recreational facilities (Park Gerry Sport & Amenity, Renovating the Recreation Ground).

In short, the Town Deal proposals will make a significant contribution to the delivery of the agreed Local Plan priorities for the town.

## Camborne, Pool, Illogan & Redruth (CPIR) Framework

The CPIR Framework sets out the spatial strategy for the future sustainable growth and regeneration of the area.

The Vision and Strategic Objectives articulated in the framework mirror those included in the relevant section of the Local Plan.

Furthermore, the document identifies aims which are specific to Camborne, including:

- To deliver the regeneration of the bus station site (The Buzz Station)
- To offer new employment opportunities for local residents by dispersing new office and light industrial space throughout Camborne's main developments (The Buzz Station, Fibre Park, Camborne Contemporary Crafts Hub)

- To deliver improved facilities and services for the community, such as allotments; and education facilities to meet the needs of the expanding population. "The reuse of vacant or underused properties within the town centre, or on its edge is encouraged" (The Buzz Station, Food and Farming Enterprise Hub, Camborne Contemporary Crafts Hub, Project A-Avoid and Prosperity Accelerator Partnership, Park Gerry Sport and Amenity. Renovating the Recreation Ground)

Aims specific to Pool include:

- To create a commercial hub with a focus on office development (Fibre Park)
- To maintain and enhance the role and facilities of Cornwall College for the benefit of all of CPIR and beyond (Food and Farming Enterprise Hub)

Pool is clearly identified as the location for the development of employment space and specifically for office space. The importance of the digital economy is recognised and the opportunity to "retain and build upon this cluster by developing workspace with ultra-fast broadband connectivity, in doing so attracting companies whose operations rely upon the speed of connectivity" is clearly articulated (Fibre Park).

The document also acknowledges the requirement for walking and cycling improvements (Fibre Park).

Again, the Camborne Town Deal will make a significant positive impact on the delivery of the strategic priorities identified within the CPIR Framework.

## Can Do More

The project aligns perfectly with "CAN DO MORE", the Camborne Business Improvement District Renewal Business Plan 2017-2022, which has as its vision:

Continuing to improve Camborne's town by making it a welcoming, well promoted, attractive destination for both visitors and local customers.

Amongst the business plans aims are: -

**Aim 1.** To create a vibrant 'happening' town to attract more visitors and residents to spend;

**Aim 2.** To raise the profile of Camborne as a place to visit, stay and locate your business;

**Aim 5.** To create a 'safer' Camborne, working with others to tackle and manage anti-social behaviour.

**Aim 6.** To look ahead and to work with partners on future opportunities for Camborne.

There is clear overlap here with the Town Deal Vision, intervention themes, objectives and indeed the projects which will collectively contribute to the BID Camborne aims, as listed above.

All projects contribute to the Can Do More strategy, but particularly the Buzz Station, Project A-Void Phase 2 and Prosperity Accelerator Partnership, the Camborne Contemporary Crafts Hub, Fibre Park and the Food and Farming Enterprise Hub.

## Vitality of High Streets Inquiry

Our TIP also aligns with the Vitality of High Streets Inquiry report, which was produced in September 2019.

The report's recommendations include: -

**Recommendation 1** Cornwall Council to ensure that High Street vitality is made a key priority of the Council and the Local Enterprise Partnership.

**Recommendation 2** Significant resource be dedicated by Cornwall Council to support high street vitality.

**Recommendation 5** Link high street vitality with culture and creative industries.

**Recommendation 7** Transport and other connectivity investment should give greater priority to High Street vitality.

Our Town Investment Plan will make a significant contribution to the delivery of these recommendations, particularly through those projects located within the town centre: (The Buzz Station, Project A-Void Phase 2 and Prosperity Accelerator Partnership and Camborne Contemporary Crafts Hub) and through Life Cycle Camborne (Cycling & Walking Network) and the linked Life Cycle Camborne (BID) project, which collectively improve connections between the town centre and the surrounding countryside.

# Camborne Doing Well

Nothing would have a more fundamental impact on Camborne than improving the physical and mental wellbeing of its residents and the Town Deal Board very quickly identified that achieving health improvements for the town was a fundamental priority.

NHS England's Healthy New Towns Programme makes clear that people's opportunities for health lie in the circumstances in which people are born, grow, live, work and age. It talks of the need to address both the physical built environment and the social factors

which shape neighbourhoods and places. The places where people live have a significant impact on their mental and physical health.

Healthy By Design			
	Economic	Social	Environmental
<b>What does it mean?</b>	<ul style="list-style-type: none"> <li>Young people having quality work and training opportunities in their home town</li> <li>Working age people earning their potential, and contributing to the economy</li> <li>Older people sharing in prosperity</li> </ul>	<ul style="list-style-type: none"> <li>Young people with good mental health and social skills</li> <li>Working age people with a vibrant 15 minute neighbourhood</li> <li>Older people fully involved in community activities</li> </ul>	<ul style="list-style-type: none"> <li>A town that isn't centred around the car</li> <li>Buildings which complement the place and the planet</li> <li>Green spaces integrated into work and leisure</li> </ul>
<b>What does it look like?</b>	<ul style="list-style-type: none"> <li>Increase in young people earning the Real Living Wage or higher</li> <li>Increase in working age people choosing to site their business or career in Camborne</li> <li>Older people engaging in social prescribing rather than primary care</li> </ul>	<ul style="list-style-type: none"> <li>Top-class community facilities for young people</li> <li>Increased adult participation in cultural activities</li> <li>Increased adult participation in exercise</li> </ul>	<ul style="list-style-type: none"> <li>Air quality on A3047 improved</li> <li>All new-builds BREEAM certified and carbon-neutral</li> <li>Never being more than five minutes from greenery</li> </ul>

## Create Compact Neighbourhoods

Lifetime neighbourhoods should be designed to suit a wide range of people and age groups. The value of clustering a range of facilities to create places that become social hubs and meeting places is recognised and The Buzz Station proposals are being designed with this approach very much at heart.

New and improved leisure and sports facilities, both at Park Gerry Sport & Amenity and within the Renovating the Recreation Ground proposals are being designed as flexible, multi-use, easily accessible facilities to support the needs of neighbouring communities and to deliver well-being outcomes.

The importance of green infrastructure is recognised throughout the Town Deal proposals and the Life Cycle Camborne (Cycling & Walking Network) proposals provide important connections between key parts of the town, increasing access to good quality green space and reducing centrality around the car.

## Maximise Active Travel

The significant impact of small increases in physical activity among those who are least active is recognised in the Healthy New Towns Programme and it is clear from both the physical and mental health statistics for Camborne (Table 18) that increasing physical activity is crucial for the town.

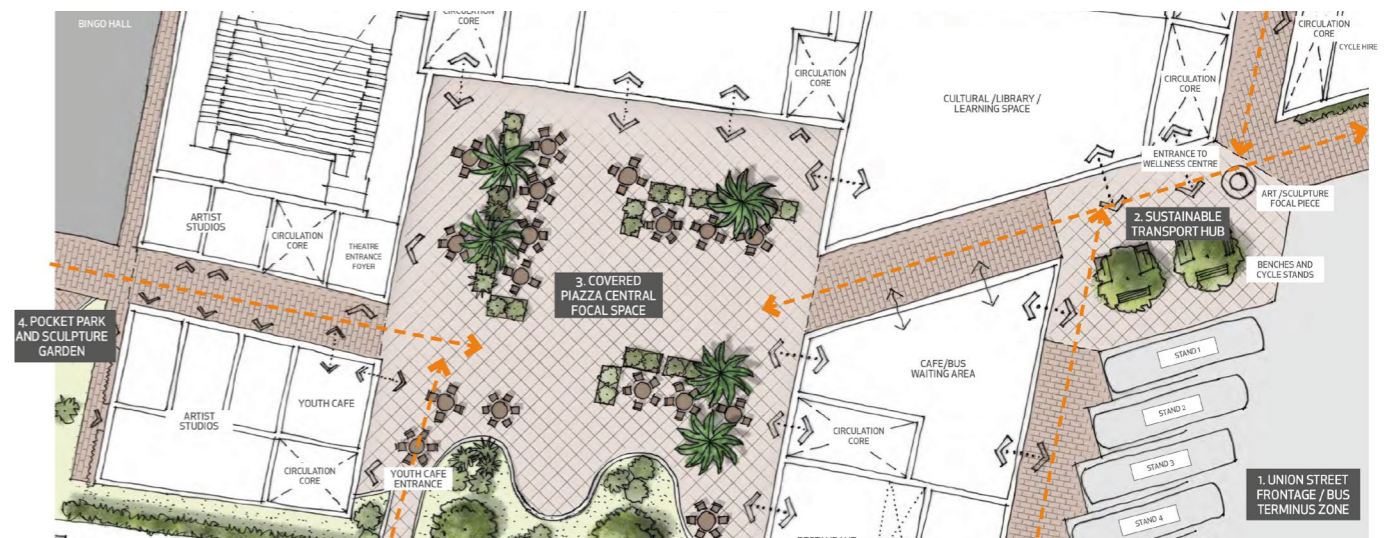
The Life Cycle Camborne (Cycling & Walking Network) and the connected Life Cycle Camborne (BID) project will create a network of cycle and walking links connecting key destinations, public transport interchanges and the surrounding countryside and the new network will be combined with interventions to encourage active travel in the town.

## Inspire and Enable Healthier Eating

The Food and Farming Enterprise Hub will provide excellent horticulture, food and farming resources for the delivery of educational programmes for young people, adults, the agricultural sector and the local community. It will offer a community farm initiative, providing market garden plots for enhanced community engagement in sustainable food production, and animal welfare, providing educational opportunities for all in a broad variety of disciplines, including healthy living.



The Life Cycle Camborne (Cycling & Walking Network) and the connected Life Cycle Camborne (BID) project will create a network of cycle and walking links connecting key destinations.



## Foster Health in Homes and Buildings

The Healthy Towns Programme recognises the fundamental importance of the built environment on the health of a town's residents and it specifically refers to the requirement to create workplaces that stimulate productivity, efficiency and resilience.

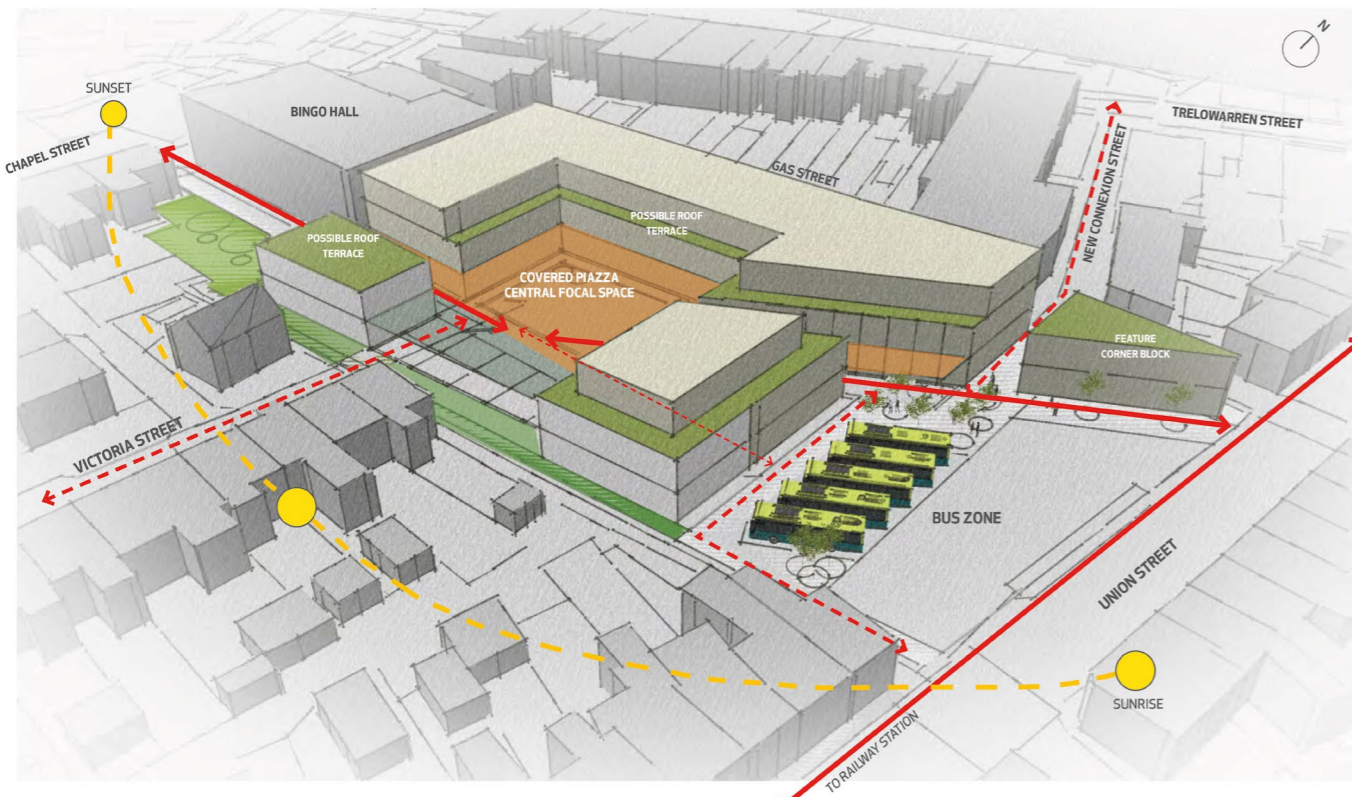
The Project A-Void Phase 2 and the Prosperity Accelerator Partnership proposals recognise this and improving the quality of business premises from a health perspective is a key objective of the project. Interventions will improve lighting and energy efficiency, install COVID-smart ventilation systems and create conditions for health to be embedded in the workplace.

The Healthy Towns Programme also identifies the importance of creating community hubs that support health and social connections. The Buzz Station will

be created with the health and well-being of its users in mind: it will create flexible, multi-purpose spaces that will be welcoming to all, meeting the needs of all abilities, ages, cultures and financial means, but especially the most disadvantaged.

## Enable Health, Play and Leisure

The importance of access to healthy play and leisure is clearly articulated in the Healthy New Towns Programme and is fundamental to the Camborne Town Deal. In addition to the Life Cycle Camborne (Cycling & Walking Network) and the connected Life Cycle Camborne (BID) project, Park Gerry Sport & Amenity and Renovating the Recreation Ground proposals, the Buzz Station will provide affordable, fun and inviting spaces for a broad variety of leisure activity to maintain health and strengthen social relationships for people of all ages.



If you live in Camborne, currently you are more likely to be in poor physical, mental or financial health than people elsewhere in Cornwall or Great Britain. We want to change this, through the landmark £25million investment in our town through the Towns Fund.

Camborne was once a centre of innovation and inspiration and we are setting out a plan to make sure that Camborne Does Well once again. We've looked at what caused these problems and are working to fix them.

## Dx Diagnosis

Camborne needs urgent attention.

In Autumn 2019, HM Government identified Camborne as one of the 101 British towns most in need of financial help to turn around its fortunes. £25million is available to bid for, to change that diagnosis, so that Camborne can Do Well again.

## Hx History

Home of Holmans, Richard Trevithick and the Camborne School of Mines, Camborne was once a hotbed of invention and industry. Then the decline of the mining industry came along. Over the course of the 1980s, 1990s and into the 21st century, Camborne began to rank higher in terms of poverty and lower in terms of aspirations and achievements and was identified by the European Union as one of the most deprived areas in Europe.

## Tx Treatment

A programme of projects that do well together, led by the Camborne Town Deal Board, driven by local organisations and joined by the Deal Makers and members of the community who will help administer effective treatment.

## Sx Symptoms

- Poor physical and mental health
- Lower life expectancy
- Low levels of physical activity
- High levels of unemployment and reliance on benefits
- Lack of wellbeing

## Px Prescription

All projects taken forward in the Camborne Town Investment Plan will consider to the Healthy By Design aims. We will ensure that Camborne is Doing Well once again, throughout this programme and long into the future.

# Three. Engagement & Delivery



# Community Engagement and Co-production

## Our community engagement function

The Communications and Engagement Partner Group has responsibility for community engagement and has met regularly since its inception. It ensures good two way communication and that the local community are part of the process of originating ideas and specifically of setting the vision and the objectives for the Town Investment Plan.

Capacity Funding was used to commission a local communications agency, to support the engagement and communications process.

## Residents lend their voices

A community survey was designed, signed off by the Communications and Engagement Partner Group and over 900 responses were collected, with most being received digitally collected through the Town Deal website and some collected on paper, ensuring that those who are digitally excluded were provided with good opportunities to contribute.

The survey has informed the TIP throughout. The key findings from the report are included in Appendix 1 - Supporting Data and many of the key comments made within the survey support the proposals included here and are included in relevant sections of this document.

## Digital collateral

To ensure good quality continuous communication, Commonplace, a community engagement tool, has been purchased and it is being used to provide ongoing opportunities for the public to give feedback on project proposals and on the work of the Board.



A Camborne Town Deal website was commissioned from a local designer and has been the principal online gateway to the programme since August 2020, with over 8,944 pageviews and 2,435 unique visitors to date.

Significant use is being made of social media to ensure that the community are kept up to date with developments.

## Stakeholder engagement

A Stakeholder Engagement Database has been created with over 150 key organisations, including businesses, collaborative business groups, community groups, schools, colleges, health care providers, civic organisations and churches and monthly e-mail updates are provided to all members of the database.

Copies of the letters of support received from stakeholders are included in Appendix 6.

## Media relations

A media relations campaign is ongoing with regular press releases issued.

The strong and direct links between the Towns Fund auspices and the needs of the local community have been recognised by local media, with the offer of free videography to support a print and online feature on the successes of the Accelerator Funded Project A-Void Phase 1.

## Principles of co-production

The Camborne Town Deal Board is committed to co-production (as defined by the New Economics Foundation), offering an equal and mutual relationship, bringing together professionals, service users, their families and neighbours to design and deliver public services. The Camborne Town Deal Board recognises that when power is shared, outcomes better reflect the needs of communities and the principles of co-production underpin the creation and the subsequent delivery of this Town Investment Plan.

A full marketing and communications plan has been produced and is attached as Appendix 5.

## Our Community Deal Makers

To assist with the effective delivery of the co-production principles and move away from simply involving, consulting and informing Camborne's communities, the concept of 'Deal Makers' has been developed.



Deal Makers are individuals with strong links to Camborne and a deep passion for positive change for both the town and its people. They are not the 'usual candidates': they don't need to be employed, have good grades or to have demonstrated previous experience in this field of work and applications from under-represented groups have been prioritized, including (but not limited to) people of colour, LGBTQ people, agender people, women, disabled people, young parents, refugee and migrants, young carers, working class people, past offenders and those not earning or learning.

The Deal Makers are of mixed ages and do not have any professional connections to the Town Deal Board. Around 20 have volunteered to be heavily involved in testing the proposals and concepts that are set to transform their community.

A reward scheme was put in place to incentivise participation.

Town Deal project concepts and proposals are shared with the Deal Makers via a menu of inclusive mechanisms: Labs, facilitated sessions; social media, newsletters and polls. The Deal Makers are asked to test the proposals in creative and progressive ways and offer feedback directly to the Town Deal Board. Their role is integral to the future development of the proposals being considered.

An initial lab split the Deal Makers into four teams: Clubs, Hearts, Spades and Diamonds and each team collectively answered three key questions:

1. What is good about Camborne?
2. What could be better?
3. What would be best?

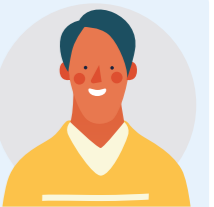
In the same groups, they were then asked to discuss issues around the three themes of work, leisure and community.

The feedback from this initial lab has had a significant influence on the work of the Town Deal Board and it is attached, as Appendix 7 - Deal Makers Lab Notes.

The experience of being a Deal Maker is empowering, exciting and life enhancing, with Deal Makers walking away from the opportunity feeling like they have made real change for their communities at the same time as developing themselves.



**It has been lovely to be given the opportunity to focus on an improved future for Camborne and our community and to feel a sense of positivity and togetherness especially during these dark and challenging times.**



Angie, Team Spades, Deal Makers



A wide range of people have lent their skills and passion for Camborne to the co-production of this Town Investment Plan and their details are contained in Appendices 9 and 10. By working together, we look forward to building a landmark legacy for this very special town.



The Puffin Devil  
A little taste  
of Cornwall

**CAMBORNE  
PRODUCE MARKET**  
LOVE YOUR  
**LOCAL  
MARKET** **ALL  
LOCAL**  
JAMS &  
CHUTNEYS  
ARTISAN  
CRAFTS  
TEA &  
COFFEE  
SEWING  
ALTERATION  
BUTCHERS  
& BURGERS  
& HO

CROSS STREET  
Specialist Shops

Bus Station

Community Centre

Train Station

Cornwall  
Wildlife Trust

CAMBORNE PR



# Camborne

TOWN DEAL

[cambornetowndea.com](http://cambornetowndea.com)

